



**APPLICATION FOR  
FINAL DEVELOPMENT PLAN (FDP)**

Contact Planning & Development (864) 467-4476

**Office Use Only:**

Application# \_\_\_\_\_ Fees Paid \_\_\_\_\_  
Date Received \_\_\_\_\_ Accepted By \_\_\_\_\_  
Date Complete \_\_\_\_\_ App Deny Conditions \_\_\_\_\_

**APPLICANT/OWNER INFORMATION**

\*Indicates Required Field

**APPLICANT**

**PROPERTY OWNER**

*Name:	NHE, Inc - Taylor Davis	Laurens Road Church of God
*Title:	CEO	
*Address:	PO Box 5539 Greenville	PO Box 309, Mauldin
*State:	SC	SC
*Zip:	29606	29662
*Phone:	864-323-5792	
*Email:	rdavis@nhe-inc.com	

\*SELECT REVIEW TYPE: \_\_\_\_ FDP Planning Commission Review    ☒ FDP Staff Review

\*PD NAME Ackley Road Apartments

\*PD ORDINANCE # 2021-55

\*ORIGINAL APPLICATION # (provide # of rezoning request) Z-10-2021

\*STREET ADDRESS 1200 Laurens Road

\*TAX MAP # 0198000403200, 0198000400200, 0198000400300 \*ACREAGE 3.87

\*BUILDING/PHASE 2 buildings, 1 phase

\*PROPOSED USE mixed use (multi-family & commercial)

**INSTRUCTIONS**

- The application and fee, **made payable to the City of Greenville**, must be submitted to the Planning and Development Office no later than 2:00 on the date reflected on the attached schedule for Planning Commission.
  - PD Final Development Plan (FDP) – Initial Approval \$200.00, *public hearing may be required*
  - PD Final Development Plan (FDP) – Major Modification \$100.00, *public hearing required*
  - PD Final Development Plan (FDP) – Minor Modification \$50.00, *administrative review*
- Staff will review the application for sufficiency pursuant **Section 19-2.2.6, Determination of Sufficiency**, prior to routing the application for staff review. If the application is determined to be insufficient, the Administrator shall contact the Applicant to request that the Applicant resolve the deficiencies. You are encouraged to schedule an application conference with a planner, who will review your application for sufficiency at the time it is submitted. Please call (864) 467-4476 to schedule an appointment.
- If the plan is determined to be inconsistent with the preliminary approval granted by the planning commission (i.e. not a "minor deviation" as defined at **Section 19-2.3.3(D)(7), Minor Deviations**), the administrator shall defer action pending the applicant submitting an application to the commission to consider a revised preliminary plan pursuant to **Section 19-2.2, Common procedures**.

CITY OF GREENVILLE APPLICATION FOR FINAL DEVELOPMENT PLAN (FDP)

PAGE 1 OF 3

4. **Public Notice Requirements.** Final Development Plan (FDP) applications require a planning commission public hearing. The applicant is responsible for sign posting the subject property at least 15 days (but no more than 18 days) prior to the scheduled planning commission hearing date.

(To be filled out at time of application submittal)

x \_\_\_\_\_ Public Hearing signs are acknowledged as received by the applicant  
\_\_\_\_\_ Received information for materials board requirements

**\*APPLICANT SIGNATURE**

5. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application, including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition, the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

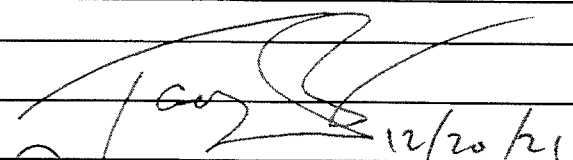
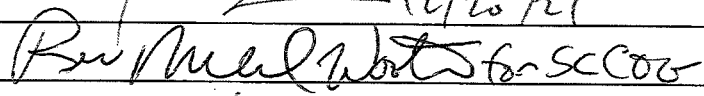
If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

Furthermore, my signature (applicant) indicates that I understand and consent that this matter will appear before the Planning Commission for consideration and that any recommendation, for approval or denial, by the Planning Commission will be presented to the City Council at their next regularly scheduled meeting to be held on the fourth Monday of the month following the Planning Commission meeting in which the matter was heard.

**\*APPLICANT SIGNATURE**

DATE

6. To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is \_\_\_\_ or is not x restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

*Signatures	
Applicant	
Date	12/20/21
Property Owner/Authorized Agent	
Date	12/21/21

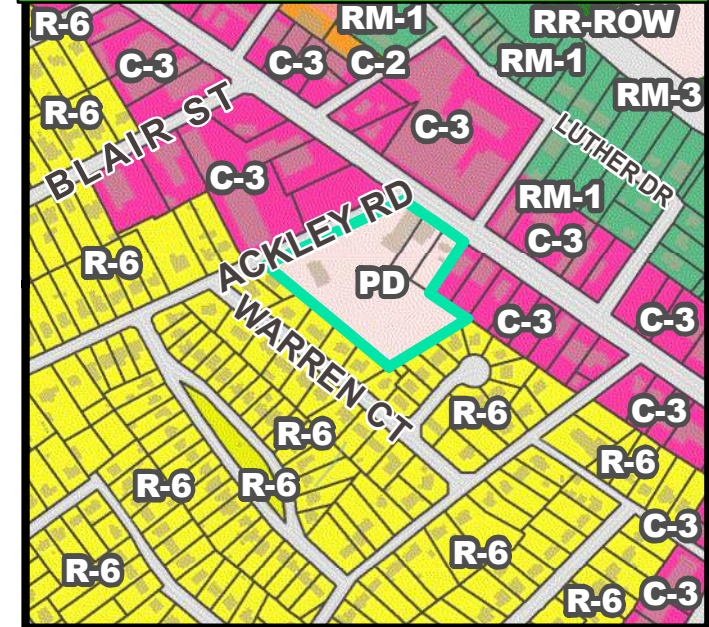


# FDP-10-2021 • 1200 LAURENS ROAD

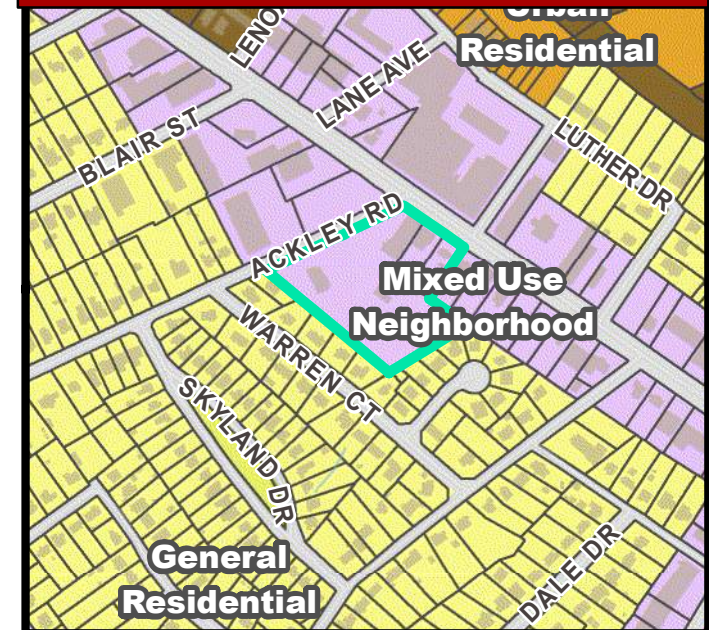
## AERIAL VIEW



## CURRENT ZONING



## FUTURE LAND USE



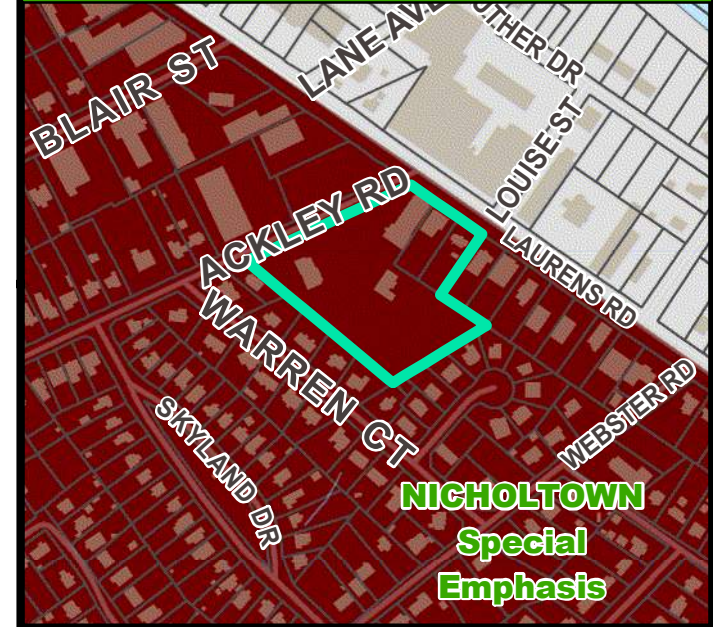


# FDP-10-2021 • 1200 LAURENS ROAD

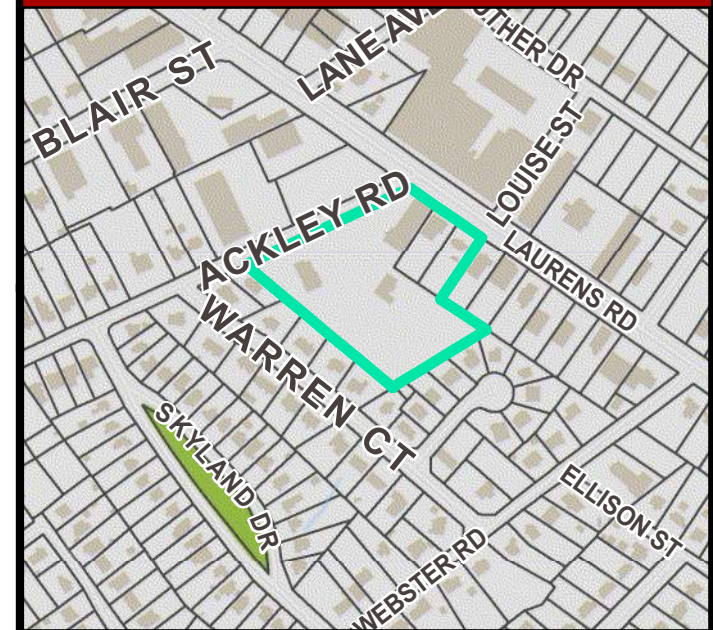
## NATURAL / ENVIRONMENTAL FEATURES



## SPECIAL EMPHASIS NEIGHBORHOODS



## PRESERVATION OVERLAYS





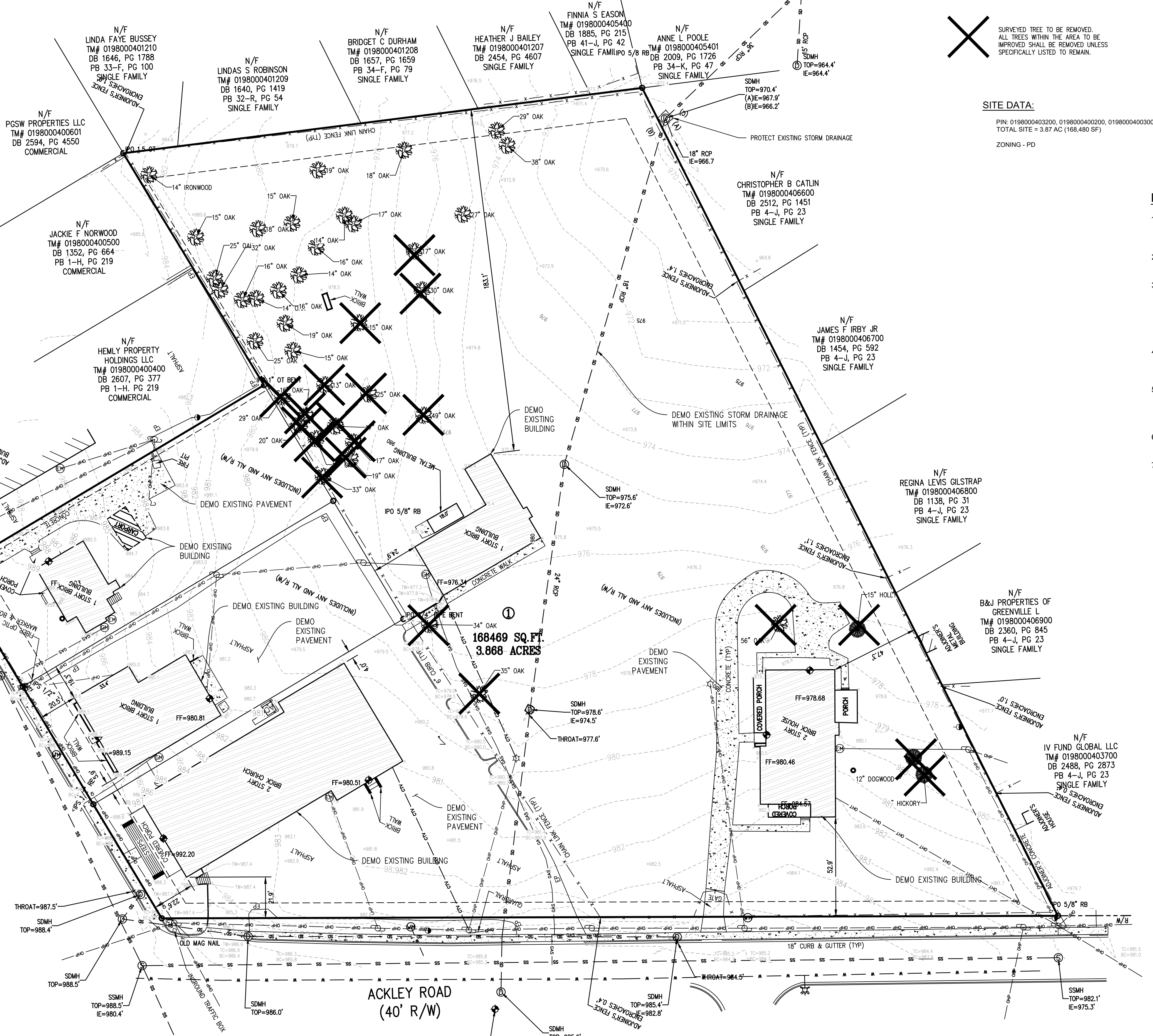
LAURENS ROAD (US HWY 276)  
(75' R/W)

\*\*\*CAUTION\*\*\*



Know what's below.  
Call before you dig.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

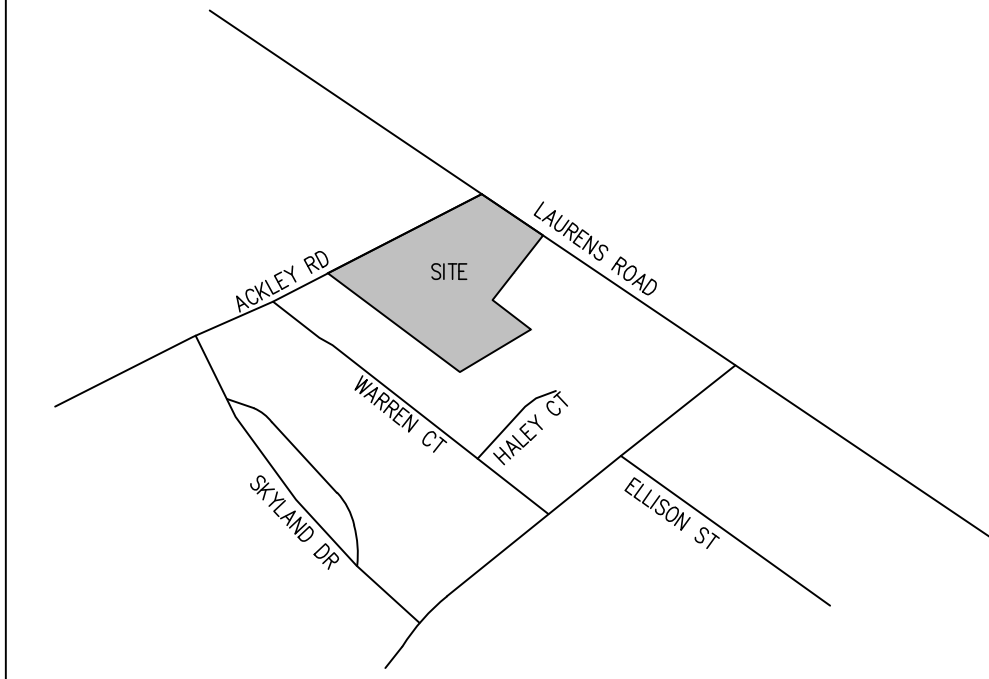


SURVEYED TREE TO BE REMOVED.  
ALL TREES WITHIN THE AREA TO BE  
IMPROVED SHALL BE REMOVED UNLESS  
SPECIFICALLY LISTED TO REMAIN.

SITE DATA:

PIN: 0198000403200, 0198000400200, 0198000400300  
TOTAL SITE = 3.87 AC (168,480 SF)  
ZONING - PD

LOCATION MAP



NOT TO SCALE

DEMOLITION NOTES

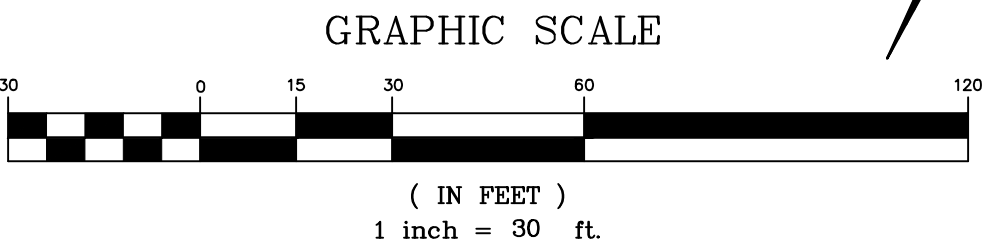
- DEMOLITION AND REMOVAL IS NOT NECESSARILY LIMITED TO THE ITEMS SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE ADDITIONAL EXISTING UNSUITABLE MATERIAL OR STRUCTURES WITHIN THE CONSTRUCTION AREA AS NECESSARY.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF UNDERGROUND STORAGE TANKS OR OTHER EQUIPMENT IS UNEARTHED OR OTHERWISE DISCOVERED.
- ALL EXISTING UTILITY DEMOLITION, REMOVAL, OR ABANDONMENT (WATER, SEWER, STORM DRAINAGE, ELECTRIC, GAS, TELEPHONE, CABLE, ETC.) SHALL BE DONE IN ACCORDANCE WITH THE STANDARDS, RULES, REGULATIONS, AND REQUIREMENTS OF THE APPLICABLE GOVERNING UTILITY ENTITY. CONTRACTOR SHALL COORDINATE UTILITY WORK WITH THE APPROPRIATE UTILITY ENTITY. CONTRACTOR TO VERIFY USEFULNESS OF EXISTING SITE UTILITIES WITH THE APPROPRIATE UTILITY ENTITY.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FROM THE CITY OF GREENVILLE NECESSARY OR REQUIRED TO PERFORM DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL CONDUCT ALL DEMOLITION, REMOVAL, STORAGE, CLEANUP, ETC. IN ACCORDANCE WITH ALL REGULATING AUTHORITIES INCLUDING BUT NOT LIMITED TO THE CITY OF GREENVILLE, SCDHEC, AND THE U.S. ENVIRONMENTAL PROTECTION AGENCY.
- NO WORK MAY BE PERFORMED WITHIN THE STATE RIGHT-OF-WAY WITHOUT AN APPROVED SCODT ENCROACHMENT PERMIT.
- EVERY ATTEMPT TO RECYCLE DEMOLISHED MATERIALS SHOULD BE MADE. COORDINATE WITH ON-SITE CONSTRUCTION MATERIALS TESTING FIRM TO IDENTIFY ANY MATERIAL TO BE RECYCLED.

LEGEND

SYMBOLS		ABBREVIATIONS	
CB	CATCH BASIN	BL	BUILDING LINE
DI	DROP INLET	CL	CENTERLINE
	ELEC TRANSFORMER	CT	CRIMP TOP
x 90.0	ELEVATION (EXIST. GRADE)	DE	DRAINAGE EASEMENT
x 90.0	ELEVATION (FINISH GRADE)	EP	EDGE OF PAVEMENT
	FIRE HYDRANT	FE	FINISHED FLOOR ELEVATION
	GAS METER	FG	FINISHED GRADE
	GAS VALVE	IE	INVERT ELEVATION
	IRON PIN	IPS	IRON PIN SET
	IRON PIN OLD	IPO	IRON PIN OLD
	LIGHT POLE	N&C	NAIL & CAP
	MANHOLE (BELLSOUTH)	OT	OPEN TOP
MHSO	MANHOLE (SS)	RB	REBAR
MHSS	MANHOLE (SS)	RCP	REINFORCED CONCRETE PIPE
PP	POWER POLE	R/W	RIGHT OF WAY
TEL	TELEPHONE	SSE	SANITARY SEWER EASEMENT
	WATER METER	SL	SETBACK LINE
	WATER VALVE	VCP	VITRIFIED CLAY PIPE
	STORMWATER FLOW		
	TRAFFIC FLOW		

LINETYPES		ABBREVIATIONS	
---CTV---	CABLE TV	SS	SANITARY SEWER - EXIST.
---X---	CHAIN LINK FENCE (PROPOSED)	SS	SANITARY SEWER - NEW
---X---	CHAIN LINK FENCE (EXISTING)	ST	SILT FENCE
---680---	CONTOURS - EXIST. GRADE	ST	STORM SEWER - EXIST.
---(678)---	CONTOURS - FINISHED GRADE	ST	STORM SEWER - NEW
---FOC---	FIBER OPTIC	UWP	UNDERGROUND POWER
---FM---	FORCE MAIN	UWP	UNDERGROUND POWER
---GAS---	GAS LINE	W	WATER LINE - EXIST.
---OP---	OVERHEAD POWER	W	WATER - NEW
---OHT---	OVERHEAD TELEPHONE	W	WOOD FENCE
---RD---	ROOF DRAIN - NEW	WPCS	LIMITS OF DISTURBANCE



SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS

www.sitedesign-inc.com  
225 ROCKY CREEK ROAD  
GREENVILLE SC 29615  
PH: (864) 271-0486

THE ALLIANCE  
APARTMENT  
HOMES

CITY OF GREENVILLE  
GREENVILLE COUNTY  
SOUTH CAROLINA

HORZ. SCALE: 1" = 30'  
VERT. SCALE: N/A  
DESIGNED BY: AB  
DRAWN BY: AB  
CHECKED BY: PFM  
DATE: 02/04/2021

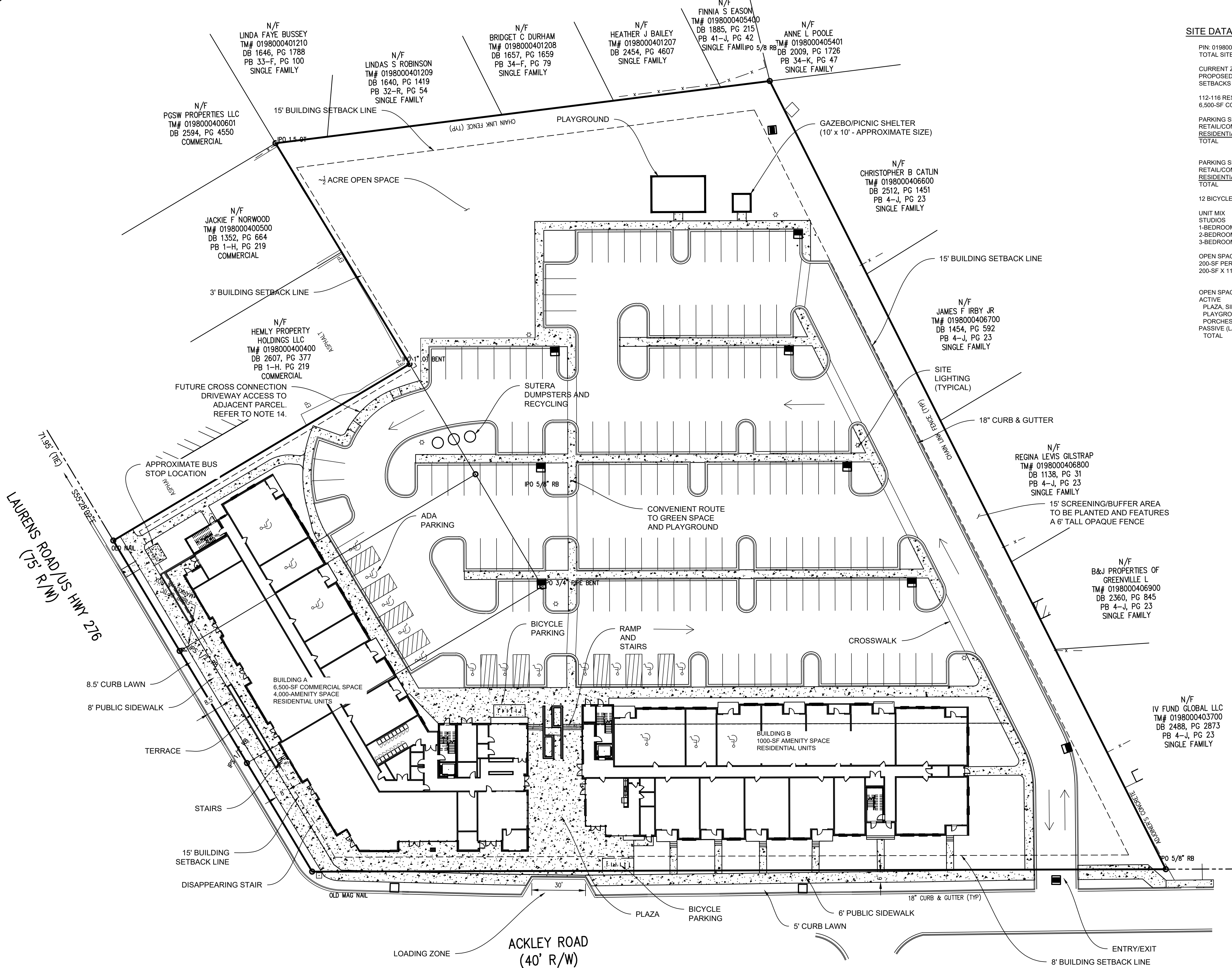
S201421 BASE

EXISTING  
CONDITIONS  
AND REMOVALS

SHEET 1 OF 4

C100





**SITE DATA:**

PIN: 0198000403200, 0198000400200, 0198000400300  
TOTAL SITE = 3.87 AC (166,480 SF)  
CURRENT ZONING - C3.R6  
PROPOSED ZONING - PD  
SETBACKS - AS SHOWN  
112-116 RESIDENTIAL UNITS - 1.5 SPACES PER UNIT  
6,500-SF COMMERCIAL/RETAIL - 1 SPACE PER 500-SF

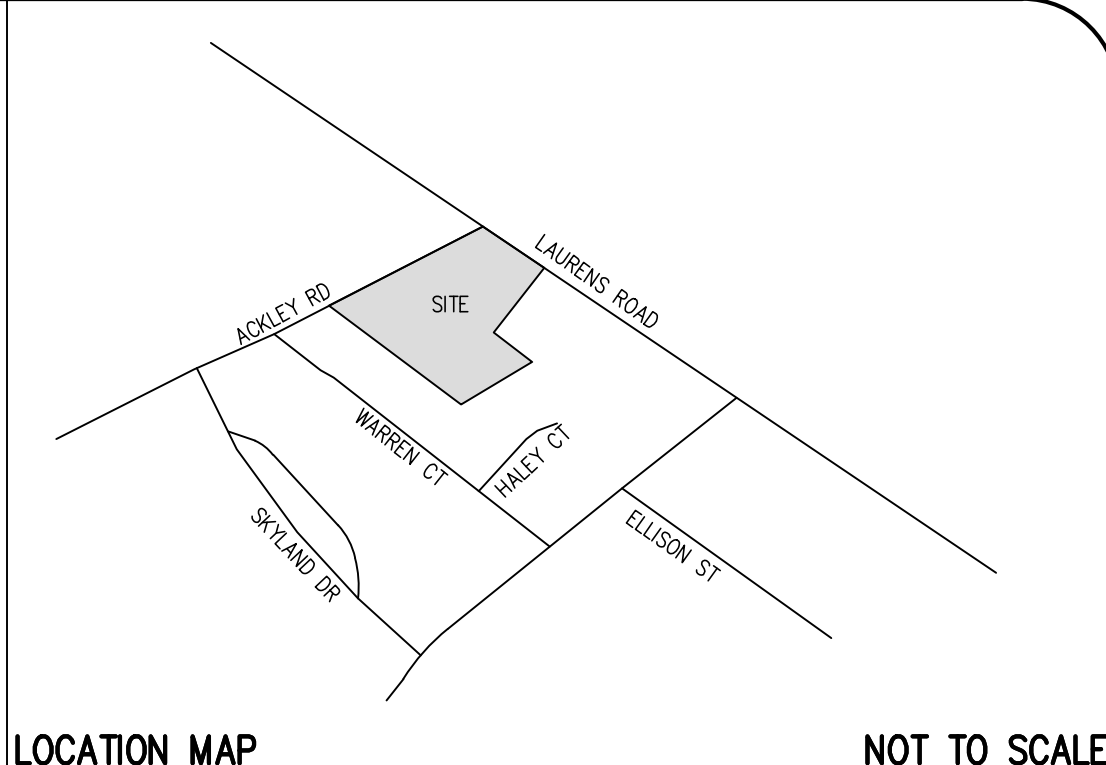
PARKING SPACES REQUIRED  
RETAIL/COMMERCIAL 10  
RESIDENTIAL 168  
TOTAL 178

PARKING SPACES PROVIDED  
RETAIL/COMMERCIAL 10  
RESIDENTIAL 168  
TOTAL 178

12 BICYCLE PARKING SPACES

UNIT MIX  
STUDIOS 19  
1-BEDROOM 35  
2-BEDROOM 10  
3-BEDROOM 28  
OPEN SPACE REQUIRED  
200-SF PER UNIT  
200-SF X 112 UNITS = 22,400-SF

OPEN SPACE PROVIDED  
ACTIVE PLAZA, SIDEWALK, PLAYGROUND & GAZEBO PORCHES  
PASSIVE (LAWN) TOTAL 8,610-SF  
5,070-SF  
31,877-SF



**SITE NOTES:**

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
- DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTERLINE OF PARKING STALL OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ENTRY/EXIT PORCHES.
- ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED PER THE DETAILS.
- CONCRETE SIDEWALKS SHALL BE CONSTRUCTED WITH 3000 PSI CONCRETE 4" THICK WITH EXPANSION JOINTS AND SCORING PER DETAIL.
- THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
- ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAY INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
- ALL CURBING TO BE 18" FORMED CONCRETE CURBING PER DETAIL, WITH 3000 PSI CONCRETE.
- ANY MATERIAL DEMOLISHED AS INDICATED ON THIS PLAN IS TO BE HAULED OFF-SITE TO AN APPROVED LANDFILL.
- TRUNCATED DOMES ARE TYPICAL AT ALL HANDICAP RAMPS. HANDICAP SPACES WILL BE MARKED WITH A FREESTANDING OR WALL MOUNTED SIGN. SEE DETAIL SHEETS FOR PROPER STRIPING.
- SITE LIGHTING WILL BE PROVIDED. FIXTURES WILL UTILIZE FULL CUT OFF SHIELDS TO PREVENT LIGHT POLLUTION ON ADJACENT PARCELS.
- UNDERGROUND DETENTION WILL BE UTILIZED
- NO FLOODPLAINS OR WETLANDS ARE LOCATED ON THE SITE.
- A CROSS ACCESS EASEMENT FOR THE FUTURE DRIVEWAY CONNECTION WILL BE PREPARED WHEN THE ADJACENT PARCEL IS REDEVELOPED. A SHARED PARKING AGREEMENT IS NOT EXPECTED.

PRIMARY TRAFFIC CIRCULATION ROUTE

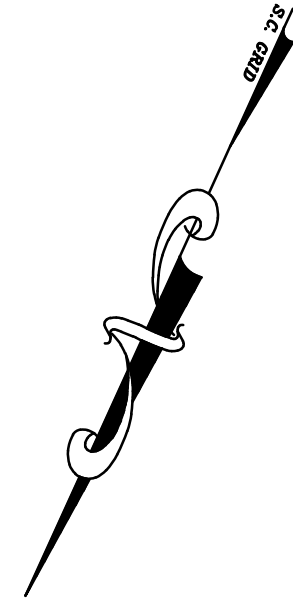
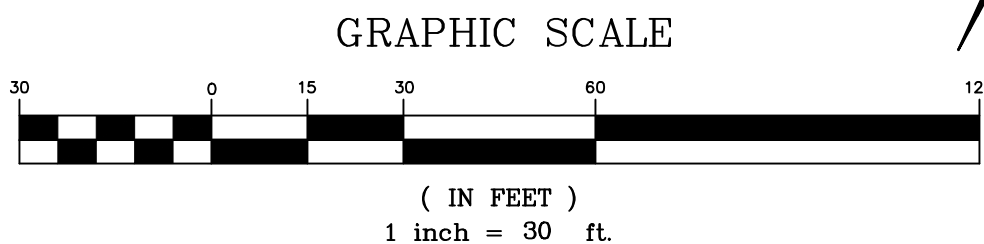
SYMBOLS		ABBREVIATIONS	
CB	CATCH BASIN	BL	BUILDING LINE
DI	DROP INLET	CL	CENTERLINE
ELEC	ELEC. TRANSFORMER	CT	CRIMP TOP
90.0	ELEVATION (EXIST. GRADE)	DE	DRAINAGE EASEMENT
90.00	ELEVATION (FINISH GRADE)	EP	EDGE OF PAVEMENT
FD	FIRE HYDRANT	FFE	FINISHED FLOOR ELEVATION
GM	GAS METER	FG	FINISHED GRADE
GV	GAS VALVE	IE	INVERT ELEVATION
IP	IRON PIN	IPS	IRON PIN SET
LP	LIGHT POLE	IPO	IRON PIN OLD
MHBS	MANHOLE (BELLSOUTH)	N&C	NAIL & CAP
MHSD	MANHOLE (SD)	OT	OPEN TOP
MHSS	MANHOLE (SS)	RB	REBAR
PP	POWER POLE	RCP	REINFORCED CONCRETE PIPE
TEL	TELEPHONE	R/W	RIGHT OF WAY
WM	WATER METER	SSE	SANITARY SEWER EASEMENT
WV	WATER VALVE	SL	SETBACK LINE
SWF	STORMWATER FLOW	VCP	VITRIFIED CLAY PIPE
TRF	TRAFFIC FLOW		

LINETYPES		ABBREVIATIONS	
—CIV—	CABLE TV	—SS—	SANITARY SEWER - EXIST.
—X—	CHAIN LINK FENCE (PROPOSED)	—SF—	SILT FENCE
—X—	CHAIN LINK FENCE (EXISTING)	—SD—	STORM SEWER - EXIST.
—680—	CONTOURS - EXIST. GRADE	—SN—	STORM SEWER - NEW
—(670)—	CONTOURS - FINISHED GRADE	—UGP—	UNDERGROUND POWER
—FOC—	FIBER OPTIC	—UGT—	UNDERGROUND TEL.
—FM—	FORCE MAIN	—W—	WATER LINE - EXIST.
—GAS—	GAS LINE	—W—	WATER - NEW
—OP—	OVERHEAD POWER	—O—	WOOD FENCE
—OHT—	OVERHEAD TELEPHONE	—NPDS—	LIMITS OF DISTURBANCE
—RD—	ROAD DRAIN - NEW		

\*\*\*CAUTION\*\*\*



THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



**SITE DESIGN, INC.**  
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS  
www.sitedesign-inc.com  
225 ROCKY CREEK ROAD  
GREENVILLE, SC 29615  
PH: (864) 271-0496

NO.	DATE
10.	12/20/2021
9.	11/15/2021
8.	10/13/2021
7.	8/12/2021
6.	5/18/2021
5.	5/18/2021
4.	5/18/2021
3.	5/18/2021
2.	5/18/2021
1.	5/18/2021

SC. REG NO 1245

**THE ALLIANCE  
APARTMENT  
HOMES**  
**CITY OF GREENVILLE  
GREENVILLE COUNTY  
SOUTH CAROLINA**

HORZ. SCALE:	1" = 30'
VERT. SCALE:	N/A
DESIGNED BY:	AB
DRAWN BY:	AB
CHECKED BY:	PPM
DATE:	02/04/2021

S201421 BASE

**SITE  
PLAN**

SHEET 2 OF 4

**C200**



SITE DATA:

PIN: 0198000403200, 0198000400200, 0198000400300  
TOTAL SITE = 3.87 AC (168,480 SF)

NOTES:

1. SLOPES WITHIN ADA PARKING AREAS CANNOT EXCEED 2% IN ANY DIRECTION. ALL ADA PARKING AREAS ARE TO BE CONSTRUCTED WITH CONCRETE.
2. SIDEWALK CROSS SLOPES ARE NOT TO EXCEED 2%.
3. ANY SIDEWALK EXCEEDING 5% RUNNING SLOPE IS CONSIDERED A RAMP. ANY RAMP RISING GREATER THAN 6" MUST HAVE AN ADA APPROVED HANDRAIL ON BOTH SIDES. RAMPS MUST NOT EXCEED 8% RUNNING SLOPE.
4. ANY EXCESS SOIL HAULED OFF-SITE MUST BE TO AN APPROVED PERMITTED SITE. SPOT ELEVATIONS SHOWN DENOTE BOTTOM OF CURB, TOP OF ASPHALT, OR GROUND SURFACE ELEVATION UNLESS OTHERWISE NOTED.
5. TC = TOP OF CURB / BC = BOTTOM OF CURB.
6. TW = TOP OF WALL / BW = BOTTOM OF WALL.
7. BUILDING ROOF DRAINAGE WILL TIE TO UNDERGROUND STORMWATER DRAINAGE SYSTEM. COORDINATE WITH MEP PLANS.

LOCATION MAP

NOT TO SCALE

GRADING NOTES:

1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES BY CALLING UTILITY LOCATION SERVICE AT 811 THREE (3) DAYS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
3. PROOFROLLING AND COMPACTION TESTS SHALL BE ACCOMPLISHED IN THE FIELD TO TEST FILLED AREAS. INITIAL COMPACTION TESTS WILL BE CONDUCTED AT OWNER'S EXPENSE. RETESTING REQUIRED BECAUSE OF POOR COMPACTION SHALL BE CONDUCTED AT CONTRACTOR'S EXPENSE. CONTRACTOR SHALL SUPPLY RESULTS TO THE ENGINEER BEFORE ANY PRELIMINARY AND/OR FINAL APPROVALS.
4. THE GRADING CONTRACTOR SHALL PROOFROLL THE CONSTRUCTION AREA WITH HEAVY RUBBER-TIRED EQUIPMENT. ALL SOFT SPOTS SHALL BE STABILIZED BY FURTHER COMPACTIVE EFFORT OR UNDERCUT AND BACKFILLED WITH COMPACTED STRUCTURAL FILL MATERIAL.
5. EARTHWORK SHALL BE TO THE GRADES AND LINES SHOWN. EXISTING AND PROPOSED CONTOUR INTERVALS ARE AT 1'.
6. ALL NEW ELEVATIONS SHOWN ARE FINISH ELEVATIONS. THE GRADING CONTRACTOR SHALL DEDUCT THE APPROPRIATE AMOUNT TO ESTABLISH SUBGRADE ELEVATION.
7. WALL ELEVATIONS WHERE NOTED ARE TOP OF WALL AND FINISH GRADE AT BOTTOM OF WALL. SEE RETAINING WALL PLANS FOR DETAILED CONSTRUCTION INFORMATION.
8. CONTRACTOR SHALL REMOVE TOPSOIL AS NECESSARY (MINIMUM OF 4") TO PROVIDE ADEQUATE SUBGRADE FOR ROADWAYS.
9. ALL EXCAVATION SHALL BE "UNCLASSIFIED EXCAVATION". ALL NEW FILL AND UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR (ASTM D-698). IN ADDITION, THE UPPER 18" OF ALL FILL MATERIALS BENEATH FLOOR SLABS AND PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY (ASTM D-698).
10. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
11. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III, UNLESS OTHERWISE NOTED, AND SHALL CONFORM TO SCDOT SPECIFICATIONS. ALL JOINTS SHALL BE TONGUE AND GROOVE WITH MASTIC MATERIAL.
12. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE DRAINAGE BOX WITH SOLID WALL PER SCDOT STANDARD DRAWING 719-17A OR APPROVED EQUAL.
13. ALL WORK ON STATE, COUNTY, OR CITY RIGHT-OF-WAYS, INCLUDING DRIVEWAY APRONS, WATER AND SEWER TAPS OR ANY OTHER WORK REQUIRES AN ENCROACHMENT PERMIT FROM THE APPROPRIATE AGENCY.
14. STANDING GRASS MUST BE EVIDENT IN AREAS THAT WERE SEEDDED.
15. AN AS-BUILT CERTIFICATION OF THE STORMWATER MANAGEMENT SYSTEM WILL BE REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE SITE. THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR THE DELAYS RESULTING FROM NON-COMPLIANCE WITH THE DESIGN DRAWINGS.
16. CONTRACTOR TO CONFIRM ALL ELEVATIONS AND ADA COMPLIANCE PRIOR TO INSTALLING CURB, SIDEWALK, OR PAVEMENT AND BRING ANY DISCREPANCIES TO THE ENGINEER'S ATTENTION.

LEGEND

SYMBOLS

- CB CATCH BASIN
- DI DROP INLET
- ELEC TRANSFORMER
- ELEVATION (EXIST. GRADE)
- ELEVATION (FINISH GRADE)
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- IRON PIN
- IRON PIN SET
- IRON PIN OLD
- MANHOLE (BELLSOUTH)
- MANHOLE (SD)
- MANHOLE (SS)
- POWER POLE
- TELEPHONE
- WATER METER
- WATER VALVE
- STORMWATER FLOW
- TRAFFIC FLOW

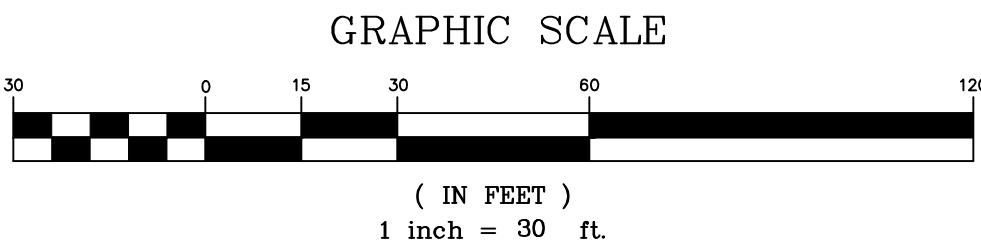
ABBREVIATIONS

- BL BUILDING LINE
- CL CENTERLINE
- CT CRIMP TOP
- DE DRAINAGE EASEMENT
- EP EDGE OF PAVEMENT
- FFE FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- IE INVERT ELEVATION
- IPS IRON PIN SET
- IPO IRON PIN OLD
- N&C NAIL & CAP
- OT OPEN TOP
- RB REBAR
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT OF WAY
- SSE SANITARY SEWER EASEMENT
- SL SETBACK LINE
- VCP VITRIFIED CLAY PIPE

LINETYPES

- CTV CABLE TV
- CHAIN LINK FENCE (PROPOSED)
- CHAIN LINK FENCE (EXISTING)
- CONTOURS - EXIST. GRADE
- (770) CONTOURS - FINISHED GRADE
- FOC FIBER OPTIC
- FM FORCE MAIN
- GAS GAS LINE
- OWP OVERHEAD POWER
- OHT OVERHEAD TELEPHONE
- RD ROOF DRAIN - NEW
- SS SANITARY SEWER - EXIST.
- SS SANITARY SEWER - NEW
- SF SILT FENCE
- SS STORM SEWER - EXIST.
- SS STORM SEWER - NEW
- UGP UNDERGROUND POWER
- UGT UNDERGROUND TEL
- WAT WATER LINE - EXIST.
- WAT WATER - NEW
- WOOD FENCE
- NPDES LIMITS OF DISTURBANCE

GRAPHIC SCALE



( IN FEET )  
1 inch = 30 ft.

\*\*\*CAUTION\*\*\*

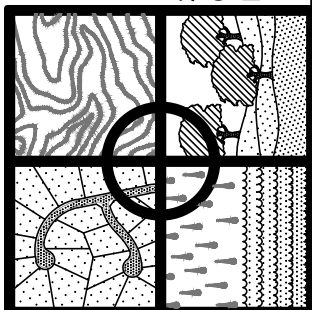


Know what's below.  
Call before you dig.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS



www.sitedesign-inc.com  
225 ROCKY CREEK ROAD  
GREENVILLE SC 29615  
PH: (864) 271-0496

NO.	DATE
1.	10/13/2021
2.	8/12/2021
3.	5/18/2021
4.	
5.	
6.	
7.	
8.	
9.	
10.	

10.	NO.
9.	
8.	
7.	
6.	
5.	
4.	
3.	
2.	
1.	

SC. REG. NO. 1245

THE ALLIANCE  
APARTMENT  
HOMES

CITY OF GREENVILLE  
GREENVILLE COUNTY  
SOUTH CAROLINA

HORZ. SCALE: 1" = 30'  
VERT. SCALE: N/A  
DESIGNED BY: AB  
DRAWN BY: AB  
CHECKED BY: PFM  
DATE: 02/04/2021

S201421 BASE

GRADING  
PLAN

SHEET 3 OF 4

C400



LAURENS ROAD/US HWY 276  
(75' R/W)

\*\*\*CAUTION\*\*\*



Know what's below.  
Call before you dig.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

#### NOTES:

1. WATER AND SEWER SERVICES WILL CONNECT TO EXISTING MAINS. NO MAIN EXTENSIONS ARE REQUIRED.

LOCATION MAP

NOT TO SCALE

#### UTILITY NOTES:

1. ALL UTILITIES LOCATED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL COORDINATE LOCATION OF UNDERGROUND UTILITIES WITH THE UTILITY LOCATING SERVICE, BY CALLING 811 THREE (3) DAYS PRIOR TO CONSTRUCTION, AND UTILITY PROVIDERS.
2. CONTRACTOR SHALL NOTIFY THE ENGINEER FOR A REVIEW SHOULD ANY DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
3. NEW UTILITY TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D-698). IN ADDITION, THE UPPER 18" OF ALL FILL MATERIALS BENEATH FLOOR SLABS AND PAVEMENTS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DRY DENSITY (ASTM D-698).
4. CONTRACTOR SHALL CONSTRUCT DOMESTIC WATER SERVICE TO BUILDINGS AND FIRE LINE AS SHOWN ON DRAWING. EXACT LINE SIZE, TYPE AND LOCATION TO BE COORDINATED WITH MEP PLANS AND THE GOVERNING UTILITY AUTHORITY. TAPS TO BE INSTALLED TO THE SPECIFICATIONS OF THE GOVERNING UTILITY AUTHORITY.
5. CONTRACTOR SHALL CONSTRUCT SANITARY SEWER SERVICE TO BUILDINGS. EXACT SIZE, TYPE AND LOCATION TO BE COORDINATED WITH MEP PLANS AND THE GOVERNING UTILITY AUTHORITY. SERVICE TO BE INSTALLED TO THE SPECIFICATIONS OF THE GOVERNING UTILITY AUTHORITY. INSTALL CLEAN OUTS AT 75' INTERVALS (MAX) AND AT ALL DEFLECTIONS.
6. CONTRACTOR SHALL COORDINATE ALL OTHER UTILITY CONNECTIONS WITH LOCAL PROVIDERS. CONTRACTOR SHALL INSTALL ALL UTILITIES TO THE SPECIFICATIONS AND REQUIREMENTS OF THE ACCEPTING UTILITY AUTHORITY.
7. THE CONTRACTOR SHALL CONDUCT ALL WORK IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY UTILITY SCREENING TO MEET THE REQUIREMENTS OF THE CITY OF GREENVILLE.

#### LEGEND

##### SYMBOLS

- CB CATCH BASIN
- DI DROP INLET
- ELEC TRANSFORMER
- ELEVATION (EXIST. GRADE)
- ELEVATION (FINISH GRADE)
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- IRON PIN
- IRON PIN SET
- LIGHT POLE
- MANHOLE (BELLSOUTH)
- MANHOLE (SD)
- MANHOLE (SS)
- POWER POLE
- TELEPHONE
- WATER METER
- WATER VALVE
- STORMWATER FLOW
- TRAFFIC FLOW

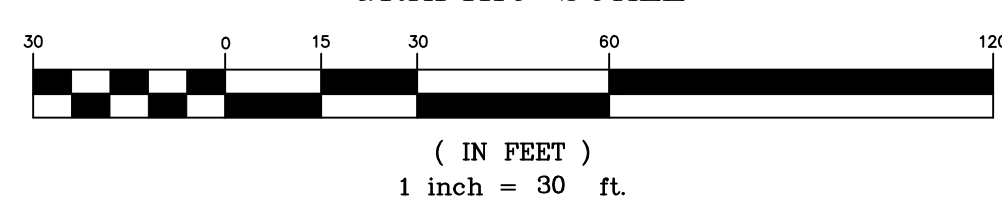
##### ABBREVIATIONS

- BL BUILDING LINE
- CL CENTERLINE
- CT CRIMP TOP
- DE DRAINAGE EASEMENT
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- IE INVERT ELEVATION
- IPS IRON PIN SET
- IPO IRON PIN OLD
- N&C NAIL & CAP
- OT OPEN TOP
- RB REBAR
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT OF WAY
- SSE SANITARY SEWER EASEMENT
- SL SETBACK LINE
- VCP VITRIFIED CLAY PIPE

##### LINETYPES

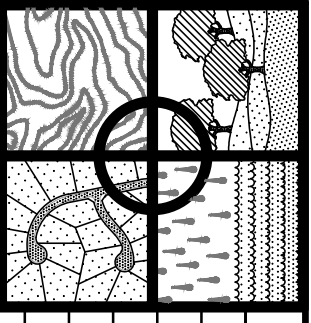
- CTV
- CHAIN LINK FENCE (PROPOSED)
- CHAIN LINK FENCE (EXISTING)
- 680 — CONTOURS — EXIST. GRADE
- (675) — CONTOURS — FINISHED GRADE
- FOC — FIBER OPTIC
- FM — FORCE MAIN
- GAS — GAS LINE
- OHP — OVERHEAD POWER
- OHT — OVERHEAD TELEPHONE
- RD — ROOF DRAIN — NEW
- SS — SANITARY SEWER — EXIST.
- SS — SANITARY SEWER — NEW
- SF — SILT FENCE
- SD — STORM SEWER — EXIST.
- SD — STORM SEWER — NEW
- UGP — UNDERGROUND POWER
- UGT — UNDERGROUND TEL.
- W — WATER LINE — EXIST.
- W — WATER LINE — NEW
- W — WOOD FENCE
- NPDS — LIMITS OF DISTURBANCE

#### GRAPHIC SCALE



SITE DESIGN, INC.

CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS



www.sitedesign-inc.com  
225 ROCKY CREEK ROAD  
GREENVILLE, SC 29615  
PH: (864) 271-0496

THE ALLIANCE  
APARTMENT  
HOMES

CITY OF GREENVILLE  
GREENVILLE COUNTY  
SOUTH CAROLINA

HORZ. SCALE: 1" = 30'  
VERT. SCALE: N/A  
DESIGNED BY: AB  
DRAWN BY: AB  
CHECKED BY: PFM  
DATE: 02/04/2021

S201421 BASE

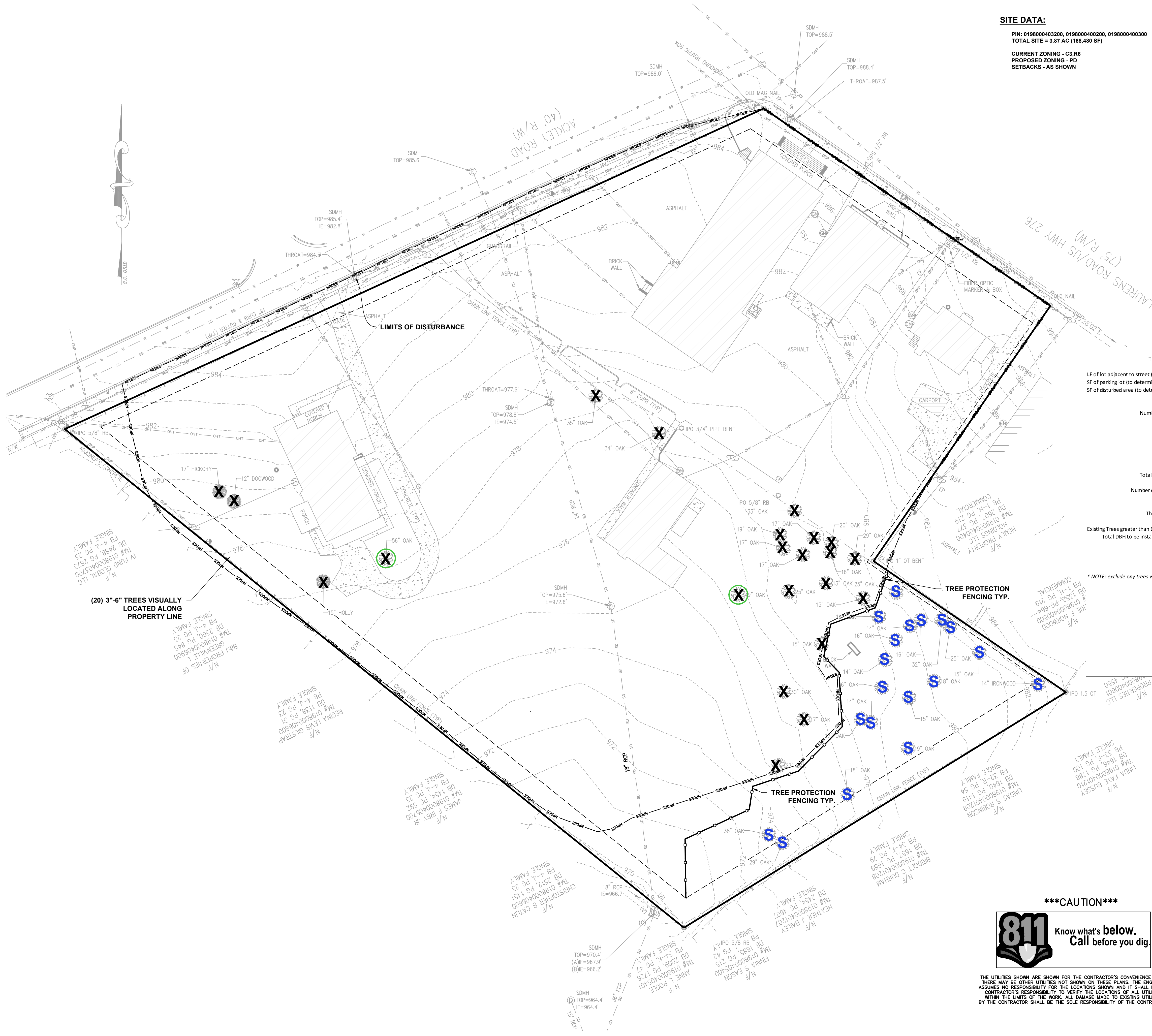
UTILITY  
PLAN

SHEET 3 OF 4

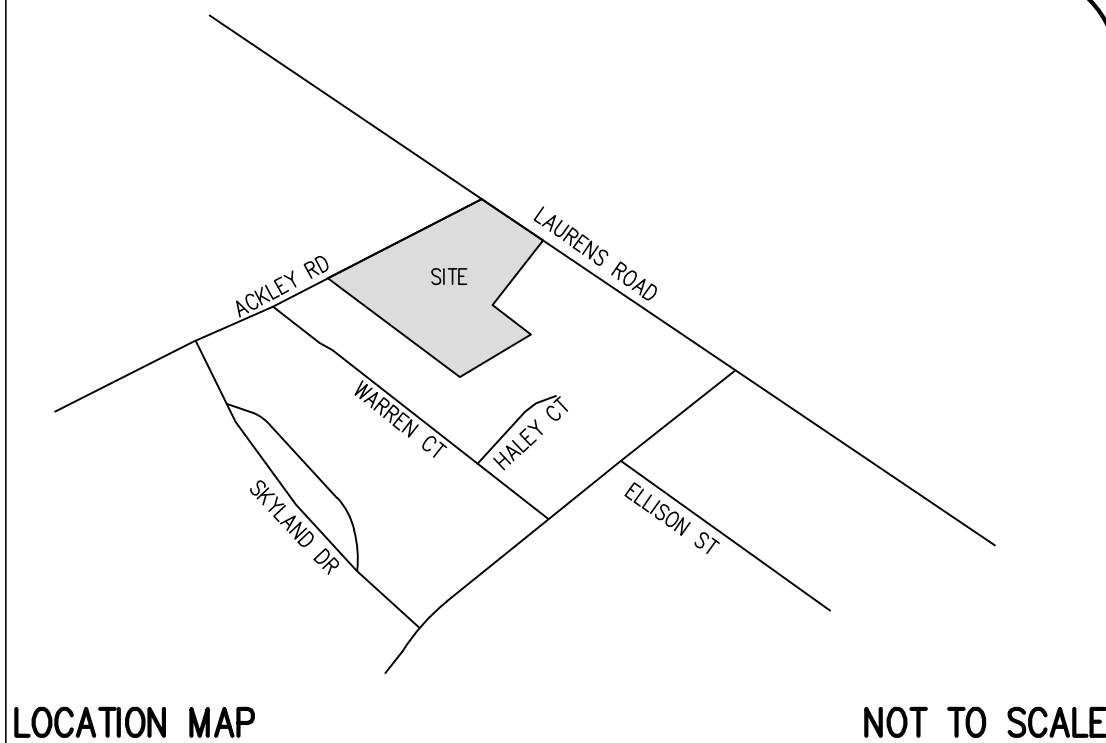
C500

SC. REG NO 1245





**SITE DATA:**  
PIN: 0198000403200, 0198000400200, 0198000400300  
TOTAL SITE = 3.87 AC (168,480 SF)  
CURRENT ZONING - C3,R6  
PROPOSED ZONING - PD  
SETBACKS - AS SHOWN



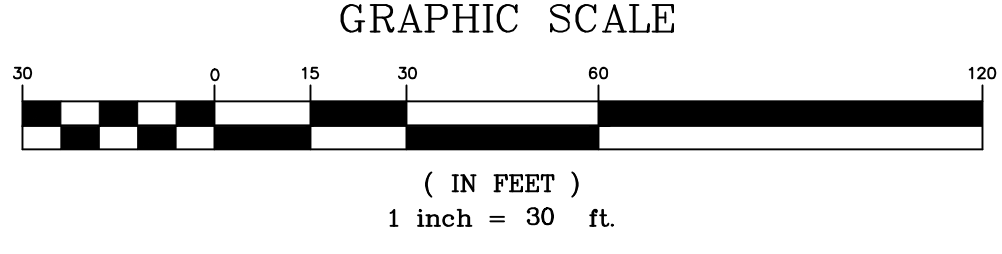
TREE REQUIREMENTS PER LANDSCAPE ORDINANCE	
This table is to be used to determine the minimum number of trees that will be required per the landscape ordinance.	
LF of lot adjacent to street (to determine street tree requirements)	692.49
SF of parking lot (to determine parking lot requirements)	64740
SF of disturbed area (to determine tree density requirements)	150969
Combined Building Footprints	33791
Athletic fields and courts	0
Number of Existing Trees between 3" and 6" to be saved	0
Total area for 1 tree per 2,000 sf	117178
Trees required for 1 per 2,000sf	59
Trees required for parking lot	33
3" Canopy Street trees required at 1 per 40' - or -	18
2" Ornamental Street Trees required at 1 per 20'	35
Total Required number of trees per landscape ordinance	59
Credit for Saved Trees	0
Number of new tree to be installed per landscape ordinance	59

TREE REQUIREMENTS PER TREE PRESERVATION ORDINANCE (1:1 replacement)	
This table is to be used to determine the mitigation requirements for removed trees per the tree preservation ordinance	
Existing Trees greater than 6" to be removed (including heritage trees)*	464
Total DBH to be installed as indicated on landscape plan plus saved trees	324
Will require survey information	140
User input via landscape plan and all trees between 3" - 6"	140
Difference of Mitigation minus installed	140
Additional DBH Required	140
Optional Fee-in-lieu of for mitigation	\$7,000

\* NOTE: exclude any trees which are exempt per ordinance

TREE REQUIREMENTS PER TREE PRESERVATION ORDINANCE (Heritage Tree Removal Fees)	
This table is to be used to determine the fee for removal of heritage trees	
Heritage trees being removed	105
Mandatory Heritage tree removal fees	\$4,725
Total Fees Required for 1:1 Mitigation Fee and Heritage Tree Fines	\$7,000
Optional Fee-in-lieu of for mitigation	\$7,000
Mandatory Heritage tree removal fees	\$4,725
Total of Fee-in-lieu of plus Heritage Removal Fees	\$11,725

- X TREES TO BE REMOVED
- S TREES TO BE SAVED
- X HERITAGE TREES TO BE REMOVED



THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**SITE DESIGN, INC.**  
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS  
www.sitedesign-inc.com  
228 ROCKY CREEK ROAD  
GREENVILLE, SC 29615  
PH: (864) 271-0486

THIS DRAWING IS THE PROPERTY OF SITE DESIGN, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SITE DESIGN, INC. FURTHERMORE, THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF SITE DESIGN, INC.

SC. REG. NO. 552

**THE ALLIANCE APARTMENT HOMES**  
CITY OF GREENVILLE  
GREENVILLE COUNTY  
SOUTH CAROLINA

HORZ. SCALE:	1" = 30'
VERT. SCALE:	N/A
DESIGNED BY:	JAW
DRAWN BY:	JAW
CHECKED BY:	AGB
DATE:	01/03/2022

**TREE MITIGATION PLAN**  
SHEET 1 OF XX  
**L000**



PIN: 0198000403200, 0198000400200, 0198000400300  
TOTAL SITE = 3.87 AC (168,480 SF)

CURRENT ZONING - C3,R6  
PROPOSED ZONING - PD  
SETBACKS - AS SHOWN

112-116 RESIDENTIAL UNITS - 1.5 SPACES PER UNIT  
6,500-SF COMMERCIAL/RETAIL - 1 SPACE PER 500-SF

PARKING SPACES REQUIRED	
RETAIL/COMMERCIAL	10
RESIDENTIAL	168
TOTAL	178

**PARKING LOT INTERIOR/ROADSIDE LANDSCAPING:**

- SEE ATTACHED SPREADSHEET FOR CALCULATIONS

**SCREENING AND BUFFERING:**

- SCREENING MUST BE PROVIDED ALONG SIDE AND REAR EXTERIOR LOT LINES , WHERE ANY NON-RESIDENTIAL USE IS ADJACENT TO A RESIDENTIAL USE
- A 6-FOOT WALL, FENCE, BERM OR EVERGREEN SCREENING PLANT MATERIAL, OR A COMBINATION WITH A COMBINED MINIMUM HEIGHT OF 6 FEET ABOVE GRADE
- WIDTH OF THE BUFFER MUST BE AT LEAST 15 FEET

**TREE PRESERVATION:**

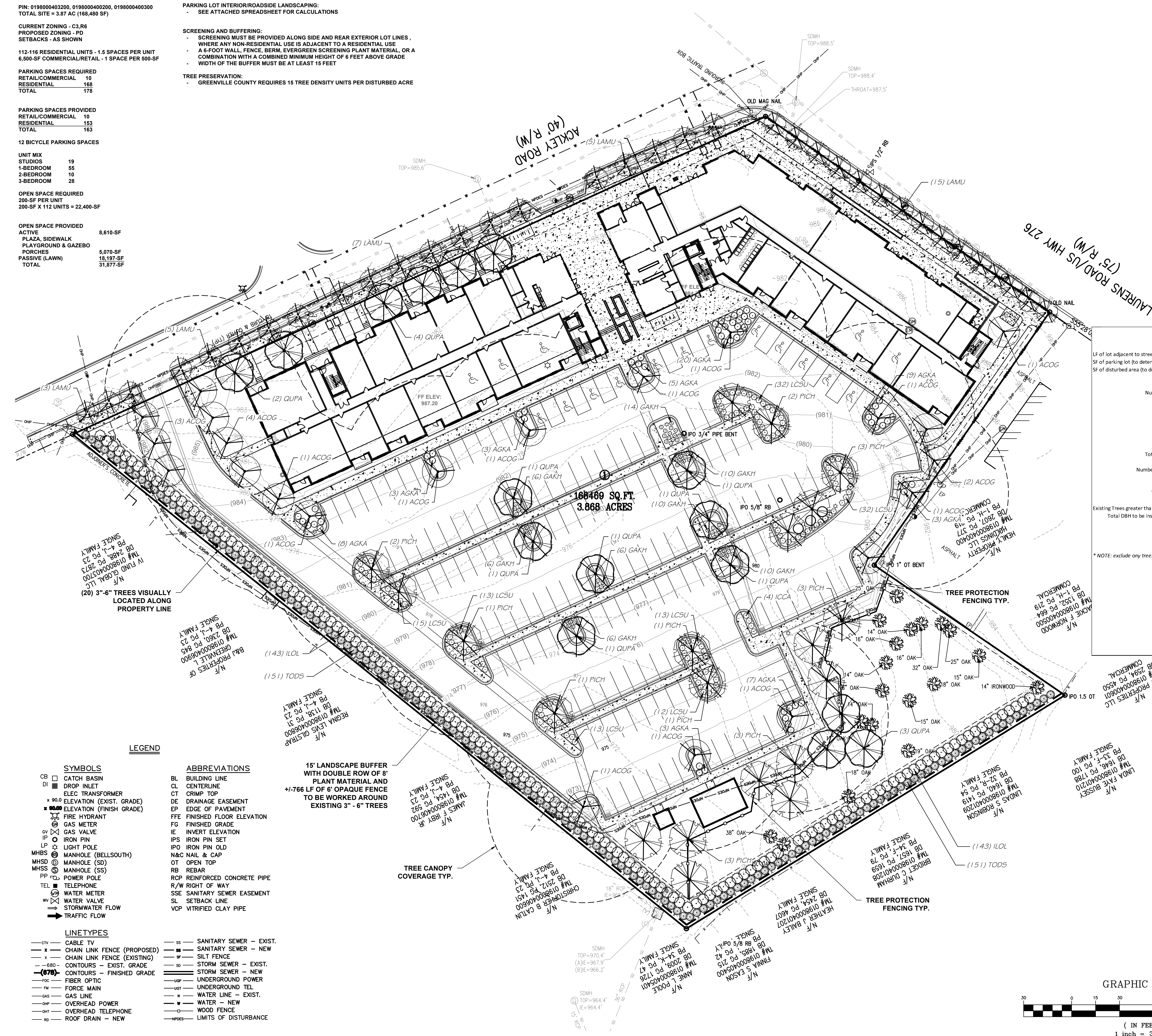
- GREENVILLE COUNTY REQUIRES 15 TREE DENSITY UNITS PER DISTURBED ACRE

<b>PARKING SPACES PROVIDED</b>	
<b>RETAIL/COMMERCIAL</b>	<b>10</b>
<b>RESIDENTIAL</b>	<b>153</b>
<b>TOTAL</b>	<b>163</b>

UNIT MIX	
STUDIOS	19
1-BEDROOM	55
2-BEDROOM	10
3-BEDROOM	28

**OPEN SPACE REQUIRED**  
**200-SF PER UNIT**  
**200-SF X 112 UNITS = 22,400-SF**

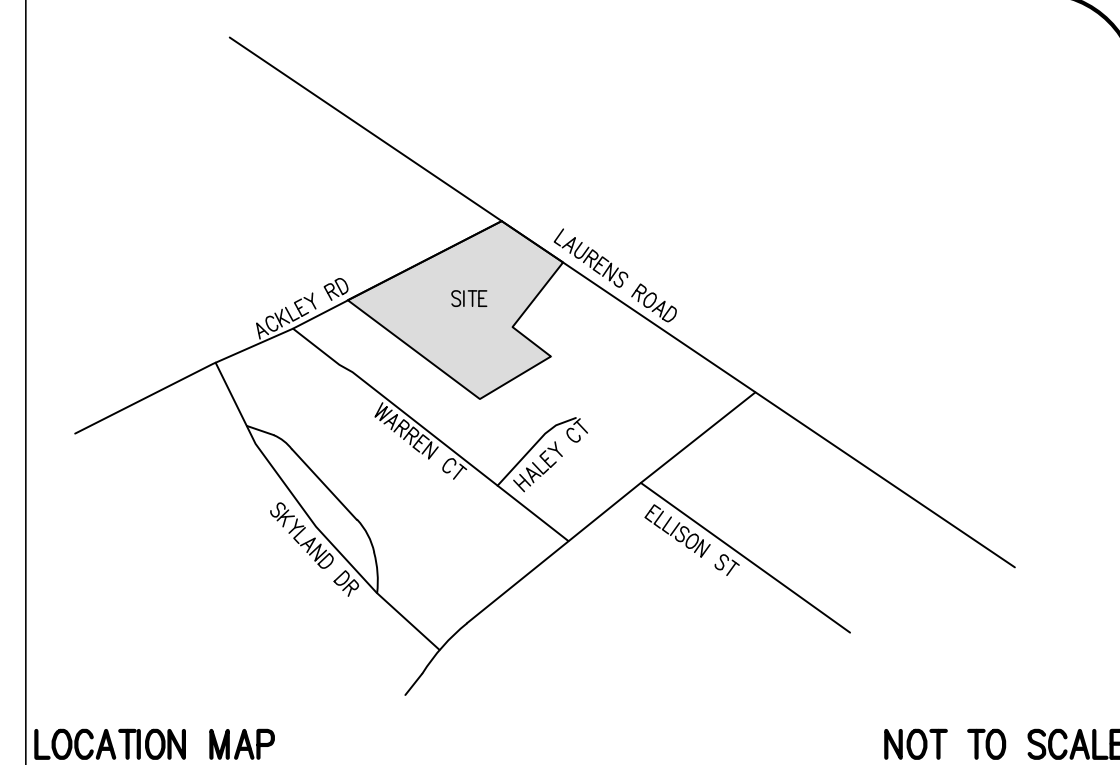
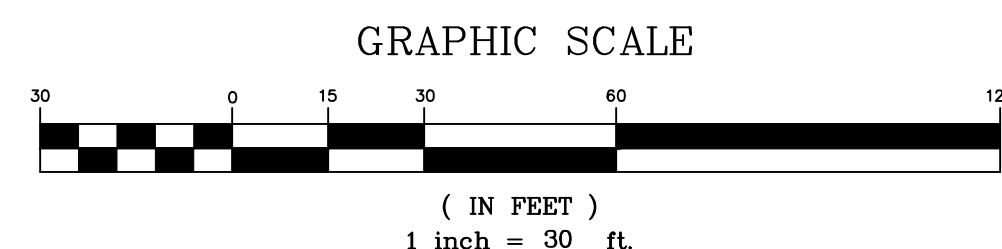
OPEN SPACE PROVIDED	
ACTIVE	8,610-SF
PLAZA, SIDEWALK	
PLAYGROUND & GAZEBO	
PORCHES	5,070-SF
PASSIVE (LAWN)	<u>18,197-SF</u>
TOTAL	31,877-SF



TREE REQUIREMENTS PER LANDSCAPE ORDINANCE	
This table is to be used to determine the minimum number of trees that will be required per the landscape ordinance.	
LF of lot adjacent to street (to determine street tree requirements)	692.49
SF of parking lot (to determine parking lot requirements)	64740
SF of disturbed area (to determine tree density requirements)	150969
Combined Building Footprints	33791
Athletic fields and courts	0
Number of Existing Trees between 3" and 6" to be saved	20
Total area for 1 tree per 2,000 sf	117178
	<b>No. of Trees</b>
Trees required for 1 per 2,000sf	59
Trees required for parking lot	33
3" Canopy Street trees required at 1 per 40' - or	18
2" Ornamental Street Trees required at 1 per 20'	35
Total Required number of trees per landscape ordinance	59
Credit for Saved Trees	20
Number of new tree to be installed per landscape ordinance	39
<b>TREE REQUIREMENTS PER TREE PRESERVATION ORDINANCE (1:1 replacement)</b>	
This table is to be used to determine the mitigation requirements for removed trees per the tree preservation ordinance	
<b>Combined DBH</b>	
Existing Trees greater than 6" to be removed (including heritage trees)*	464
Total DBH to be installed as indicated on landscape plan plus saved trees	324
	140
	140
	\$7,000
* NOTE: exclude any trees which are exempt per ordinance	
<b>TREE REQUIREMENTS PER TREE PRESERVATION ORDINANCE (Heritage Tree Removal Fees)</b>	
This table is to be used to determine the fine for removal of heritage trees	
<b>Combined DBH</b>	
Heritage trees being removed	105
	\$4,725
<b>TOTAL FEES REQUIRED FOR 1:1 MITIGATION FLO AND HERITAGE TREE FINES</b>	
	\$7,000
	\$4,725
	\$11,725

**811** Know what's below.  
Call before you dig.

THE UTILITIES SHOWN ARE SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

[illegible]







**SITE DESIGN, INC.**  
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

[www.sitedesign-inc.com](http://www.sitedesign-inc.com)  
325 ROCKY CREEK ROAD  
GREENVILLE, SC 29615  
PH: (864)271-1496

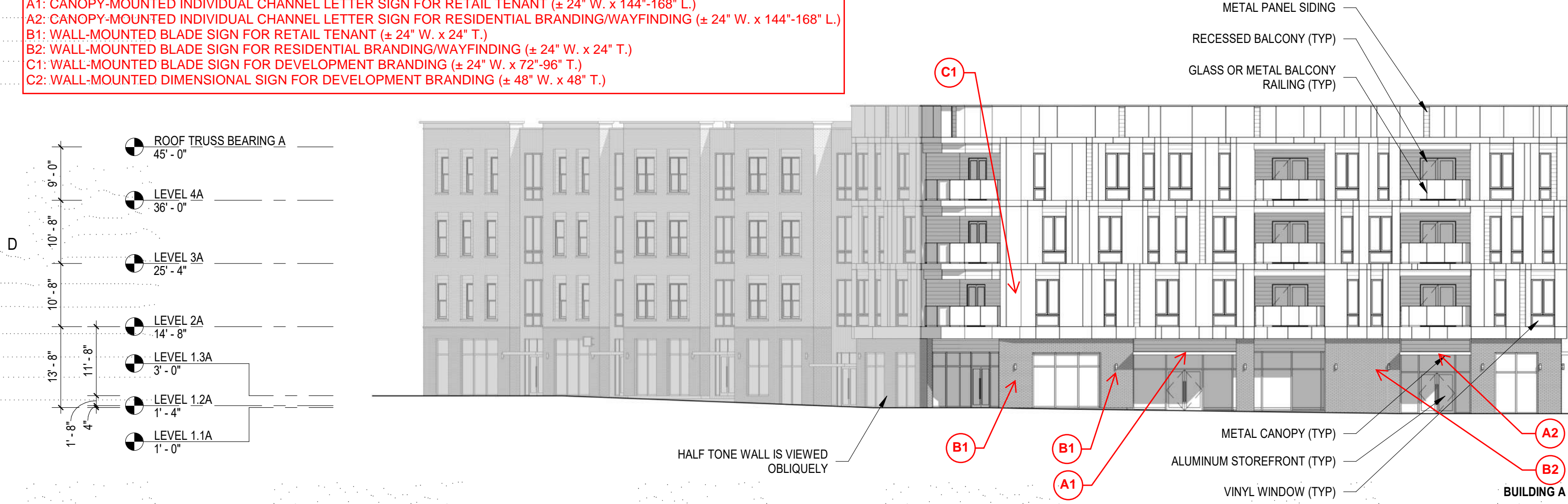




REVISED 01/03/2022.

CONCEPTUAL SIGNAGE OPTIONS INDICATE APPROXIMATE LOCATION, TYPE AND SIZE ONLY. LOCATIONS AND TYPES ARE OPTIONAL. NOT ALL SIGNS MAY BE UTILIZED/REQUIRED. FINAL COMPREHENSIVE SIGNAGE PLAN TO BE SUBMITTED AT PERMIT.

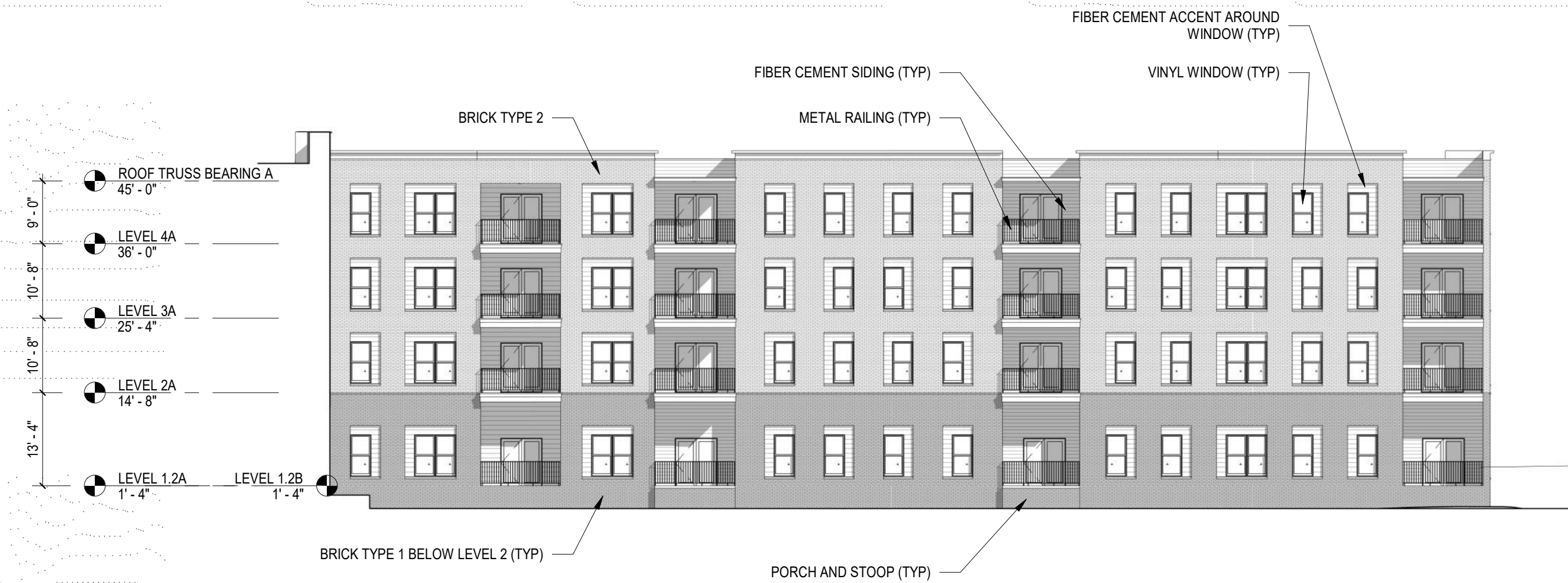
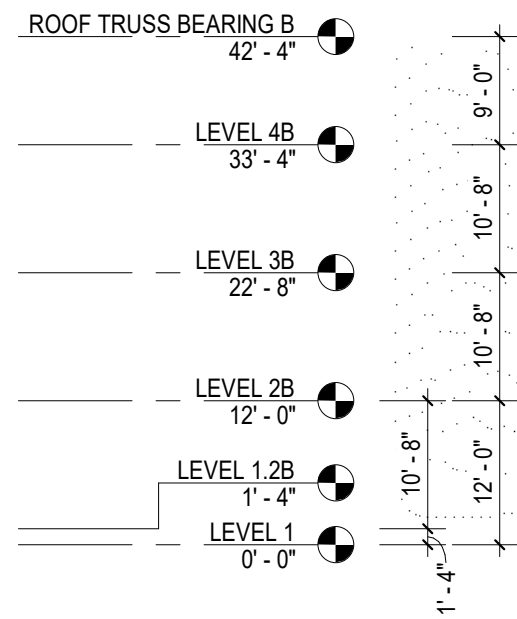
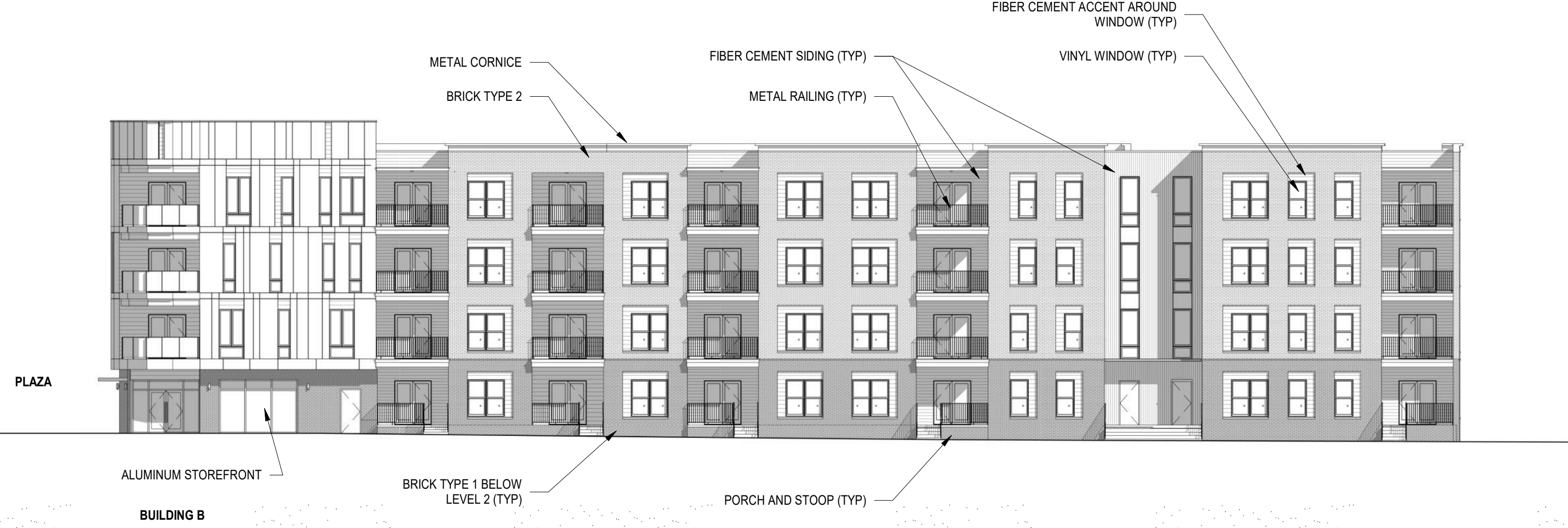
A1: CANOPY-MOUNTED INDIVIDUAL CHANNEL LETTER SIGN FOR RETAIL TENANT (± 24" W. x 144"-168" L.)  
A2: CANOPY-MOUNTED INDIVIDUAL CHANNEL LETTER SIGN FOR RESIDENTIAL BRANDING/WAYFINDING (± 24" W. x 144"-168" L.)  
B1: WALL-MOUNTED BLADE SIGN FOR RETAIL TENANT (± 24" W. x 24" T.)  
B2: WALL-MOUNTED BLADE SIGN FOR RESIDENTIAL BRANDING/WAYFINDING (± 24" W. x 24" T.)  
C1: WALL-MOUNTED BLADE SIGN FOR DEVELOPMENT BRANDING (± 24" W. x 72"-96" T.)  
C2: WALL-MOUNTED DIMENSIONAL SIGN FOR DEVELOPMENT BRANDING (± 48" W. x 48" T.)



**NORTH ELEVATION (ACKLEY ROAD)**

D1  
A2.01

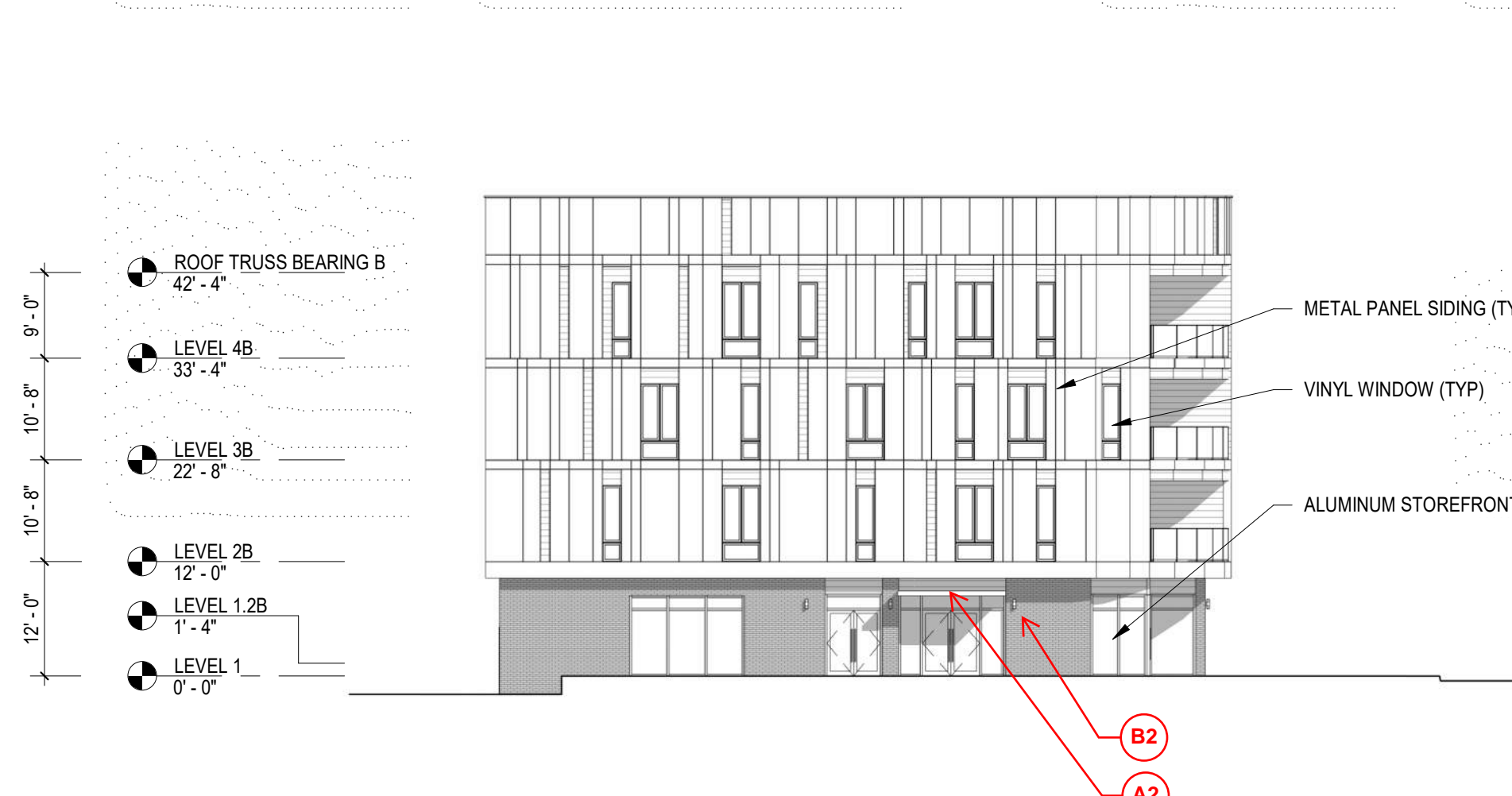
1/16" = 1'-0"



**PARTIAL WEST ELEVATION - BUILDING A (PARKING LOT)**

C1  
A2.01

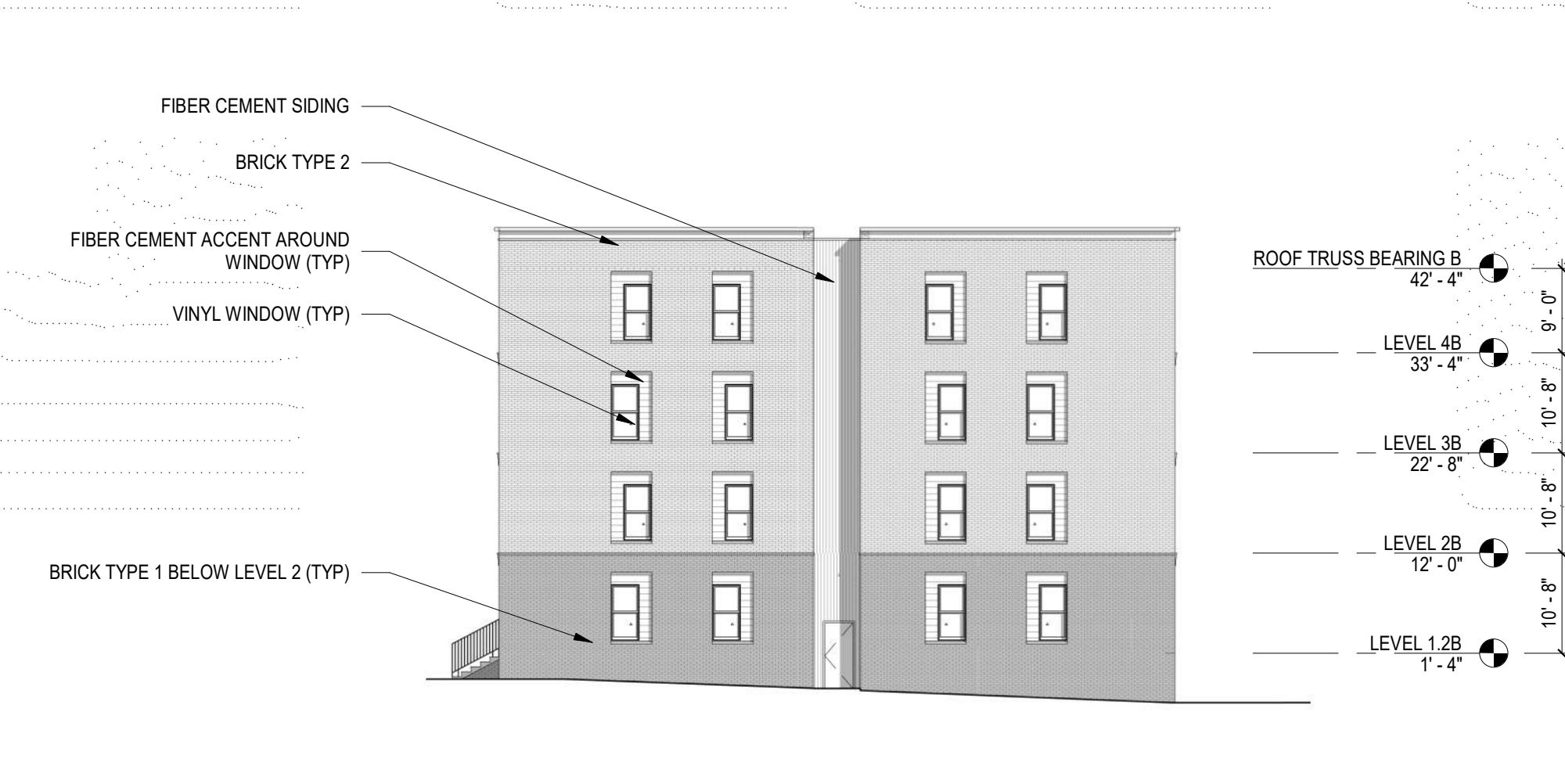
1/16" = 1'-0"



**PARTIAL EAST ELEVATION - BUILDING B**

C3  
A2.01

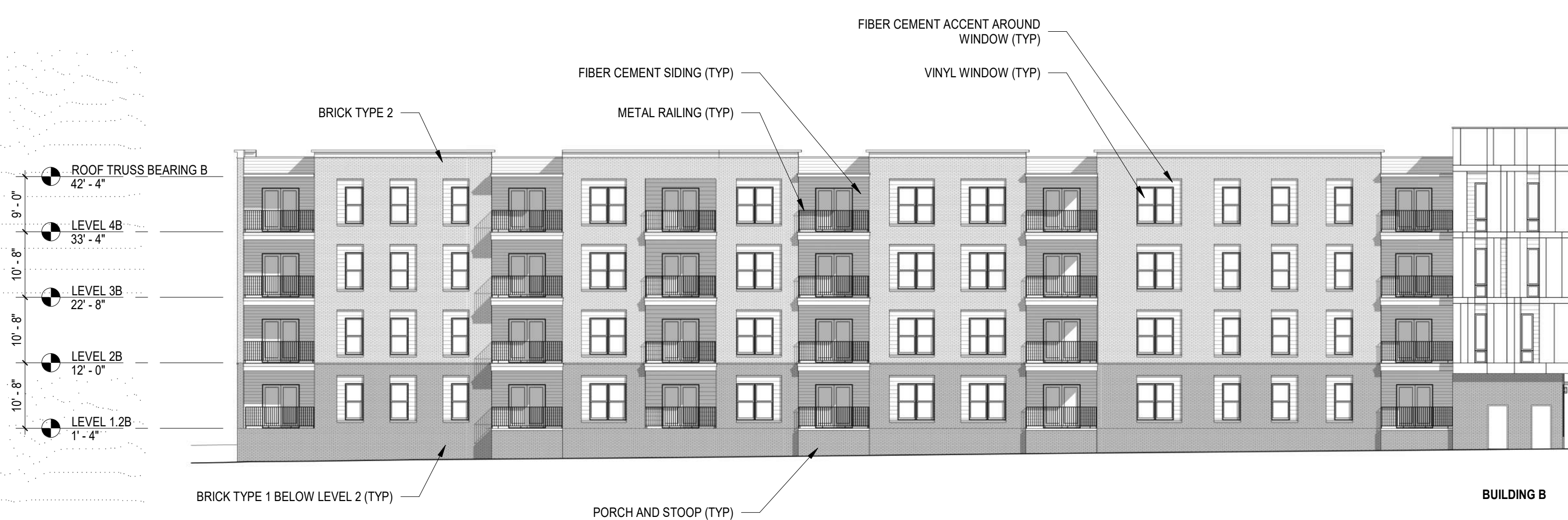
1/16" = 1'-0"



**PARTIAL WEST ELEVATION - BUILDING B**

C4  
A2.01

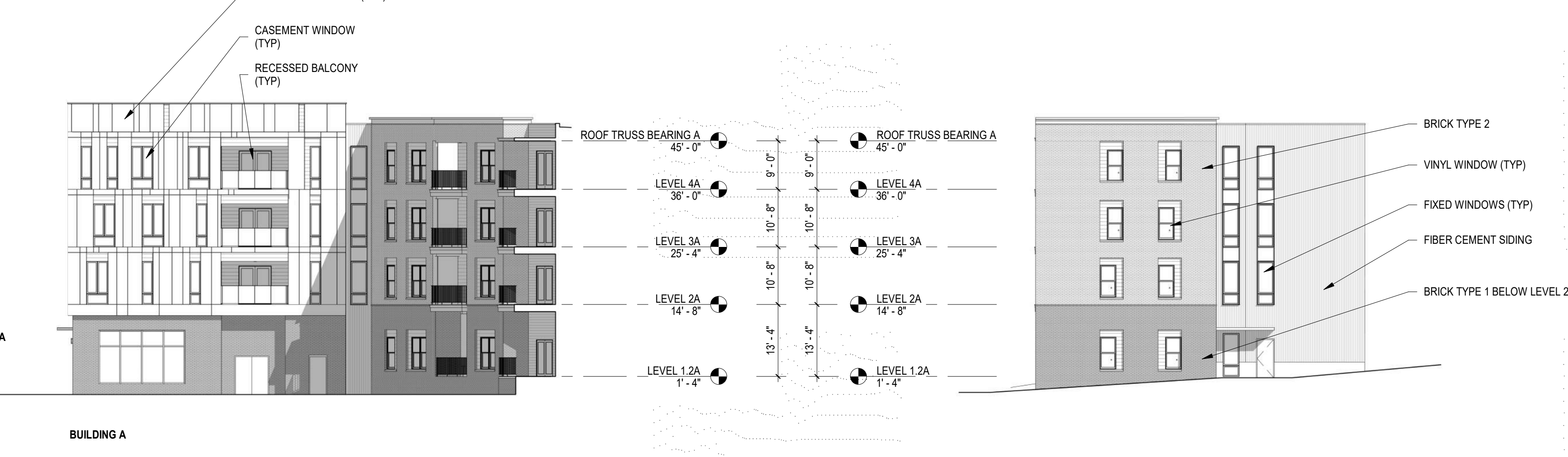
1/16" = 1'-0"



**SOUTH ELEVATION (PARKING LOT)**

B1  
A2.01

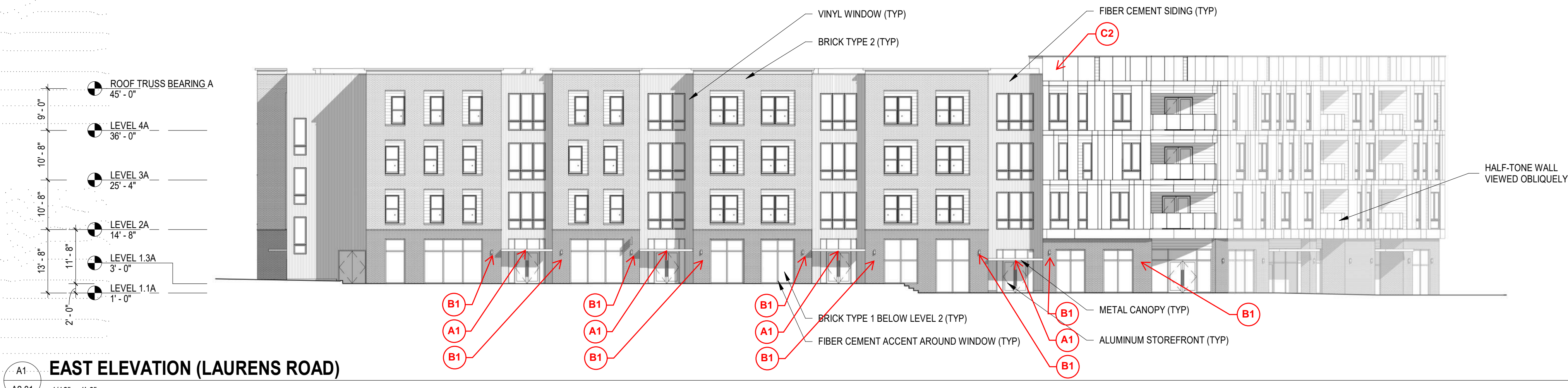
1/16" = 1'-0"



**PARTIAL SOUTH ELEVATION - BUILDING A**

B4  
A2.01

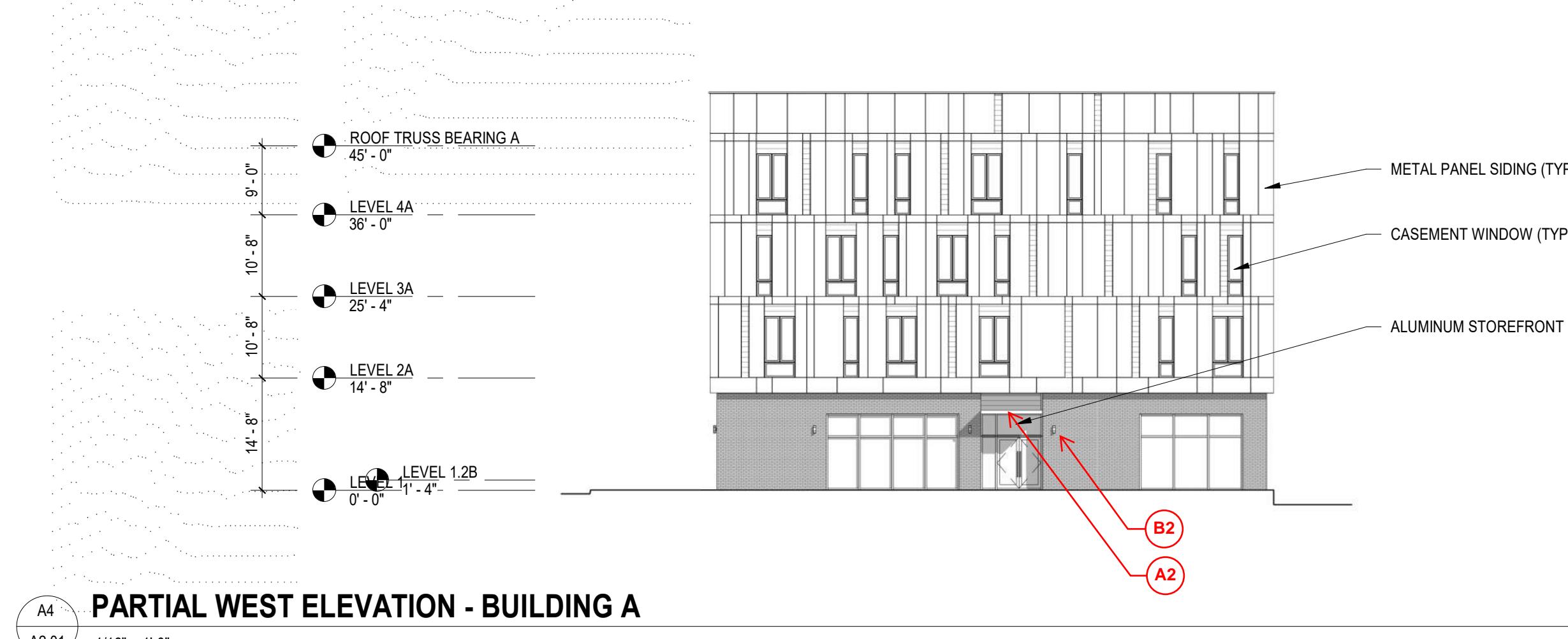
1/16" = 1'-0"



**EAST ELEVATION (LAURENS ROAD)**

A1  
A2.01

1/16" = 1'-0"



**PARTIAL WEST ELEVATION - BUILDING A**

A4  
A2.01

1/16" = 1'-0"

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
A	04/19/21	PD REZONING	MPS
C	10/15/21	TQHA PRELIMINARY APPLICATION	MPS
E	12/20/21	FINAL DEVELOPMENT PLAN	MPS

PRINCIPAL IN CHARGE:  
PROJECT ARCHITECT:  
DRAWN BY:

LL  
RC  
DT/ROIC

SHEET TITLE:  
**EXTERIOR  
ELEVATIONS**

SHEET NO.  
**A2.01**

PROJ. NO.  
020520.00

NOT FOR CONSTRUCTION













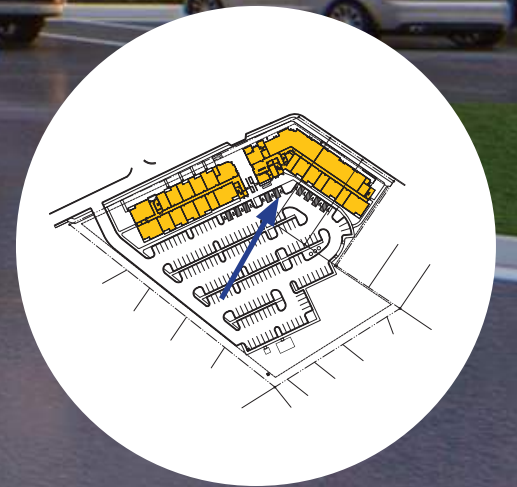










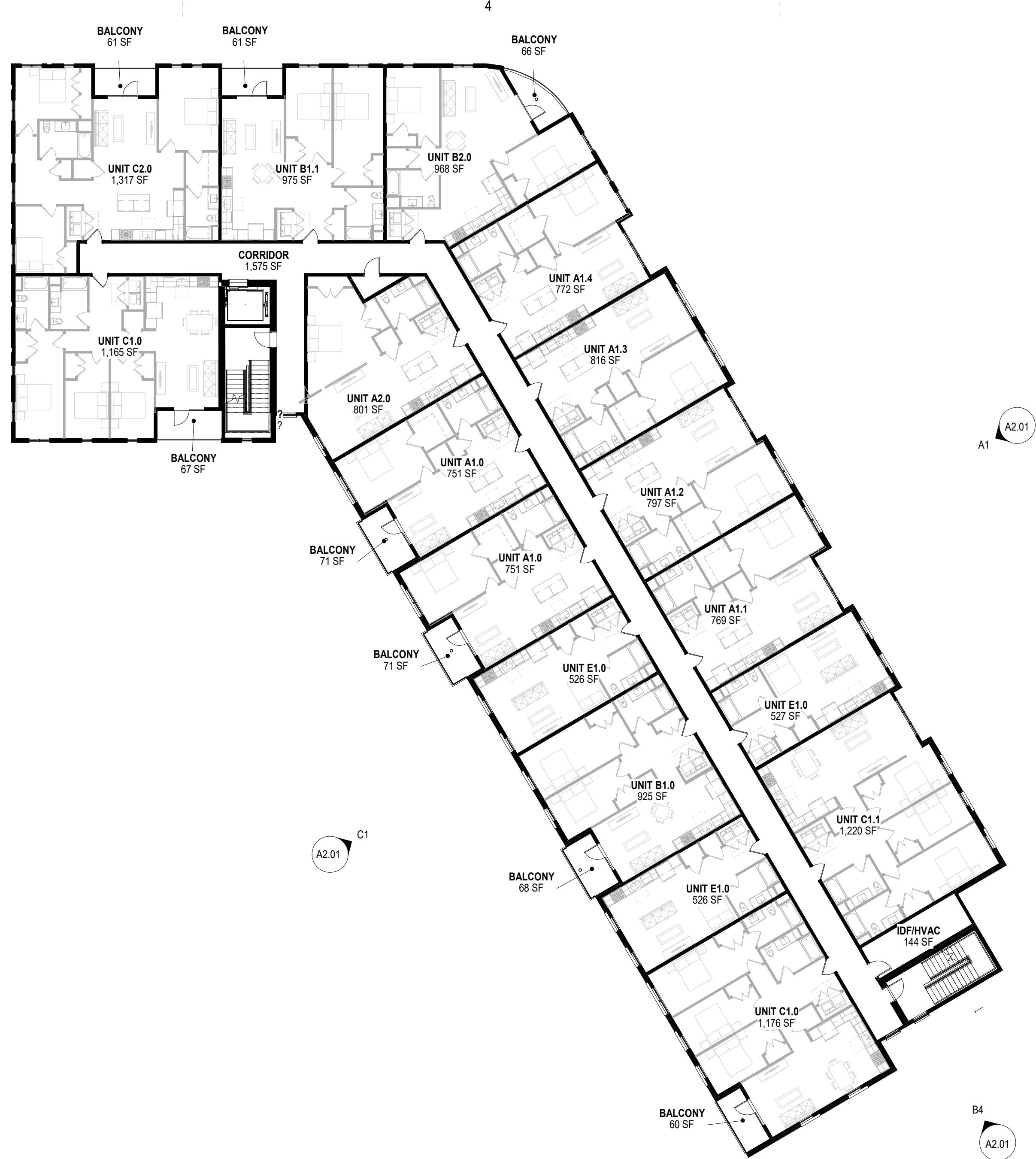




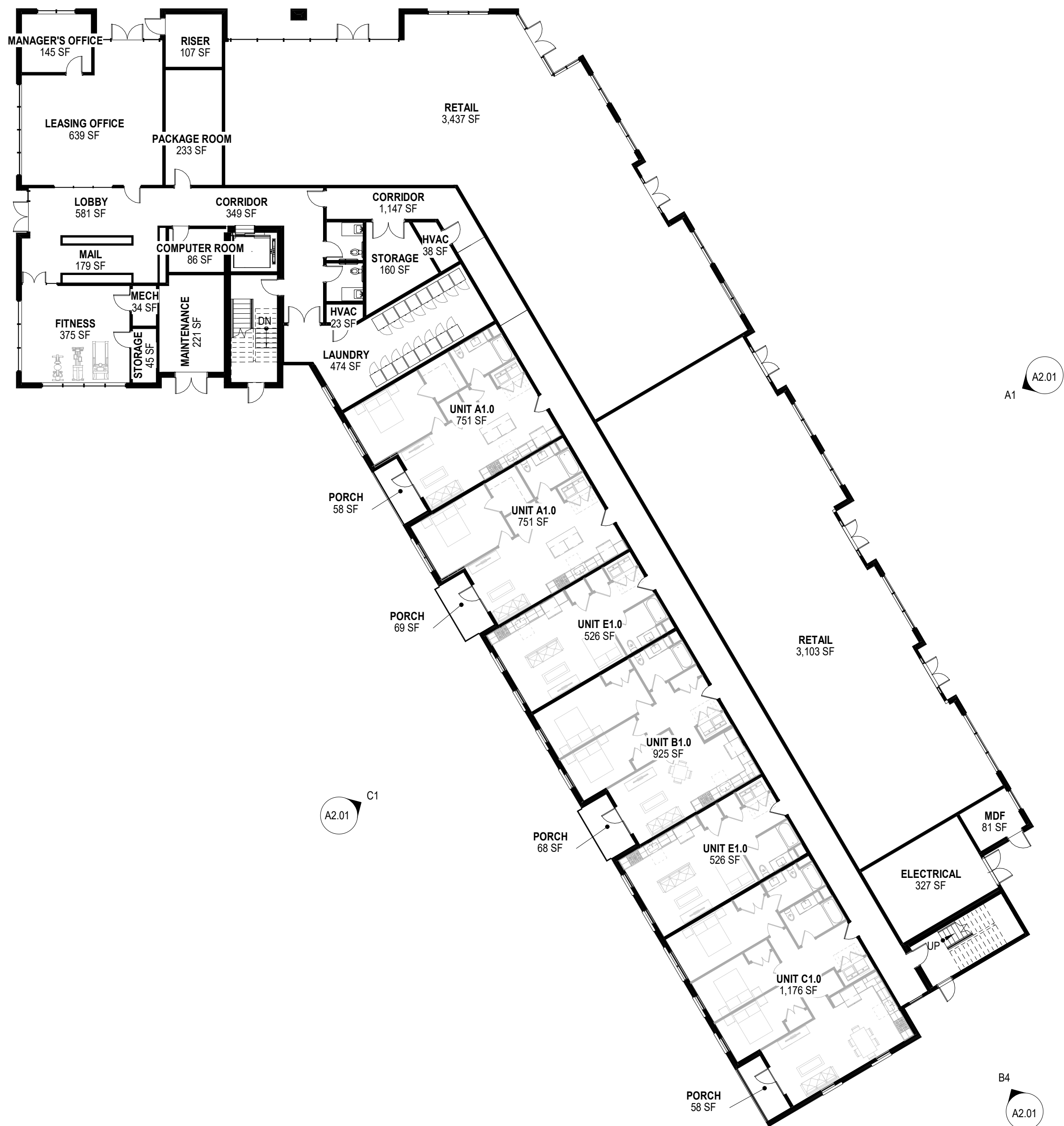




ALL DRAWINGS, SPECIFICATIONS AND COMES THEREOF FURNISHED BY MCMILLAN PAZDAN SMITH ARCHITECTURE ARE AND SHALL REMAIN THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THESE DRAWINGS ARE TO BE USED ONLY WITH RESPECT TO THE PROJECT AND NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE IS PROHIBITED. MCMILLAN PAZDAN SMITH ARCHITECTURE ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. THE USER ASSUMES ALL LIABILITY FOR ANY SUCH ERRORS OR OMISSIONS. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE. ALL RIGHTS ARE RESERVED.



C1 OVERALL FLOOR PLAN - LEVEL 2



A1 OVERALL FLOOR PLAN - LEVEL 1

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
A	04/19/21	PD REZONING	MPS
C	10/15/21	TQHA PRELIMINARY APPLICATION	MPS
E	12/20/21	FINAL DEVELOPMENT PLAN	MPS

PRINCIPAL IN CHARGE: LL  
PROJECT ARCHITECT: RC  
DRAWN BY: DT/RO/RC

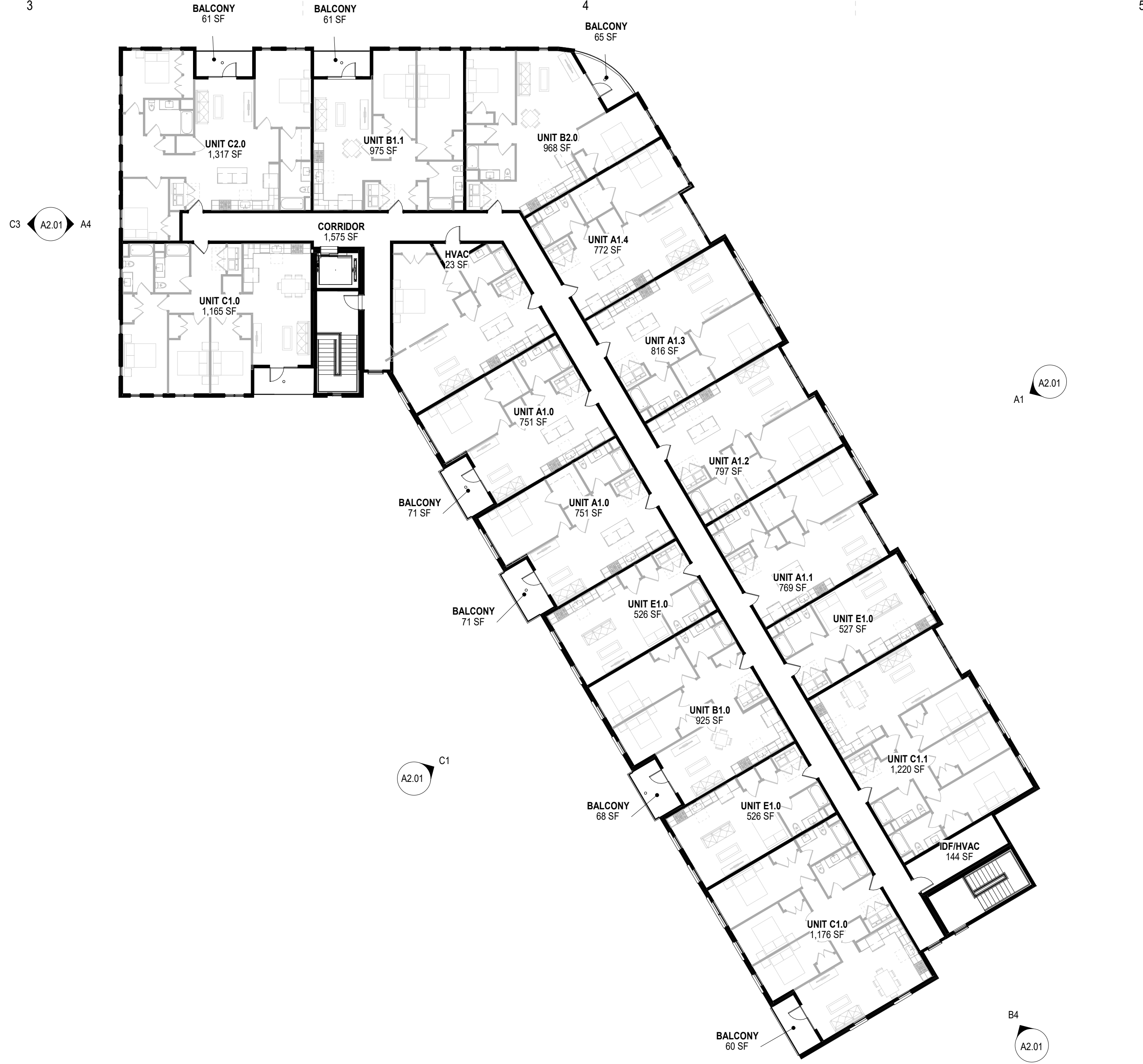
SHEET TITLE:  
FLOOR PLANS

SHEET NO. PROJ. NO.  
020520.00

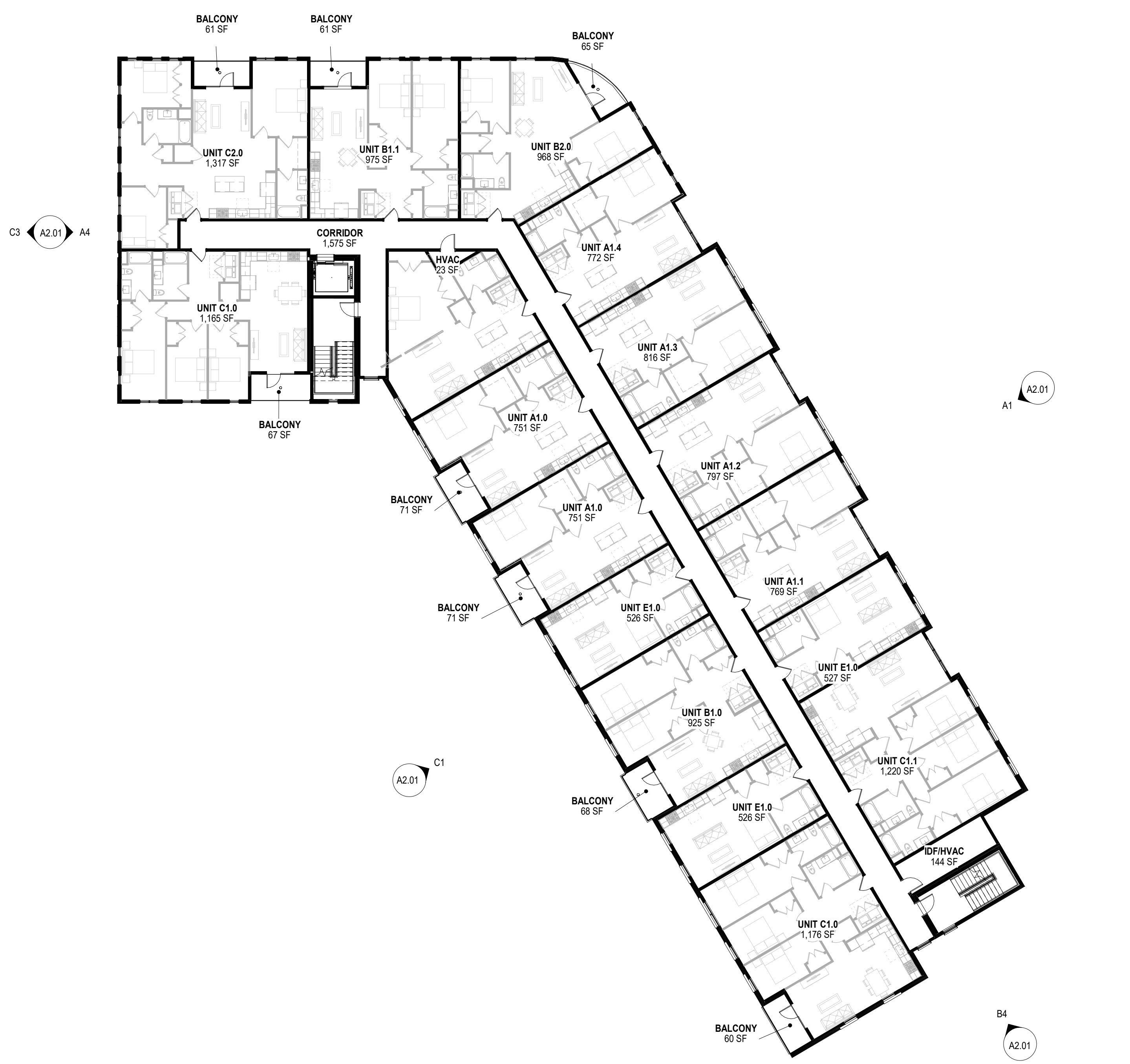
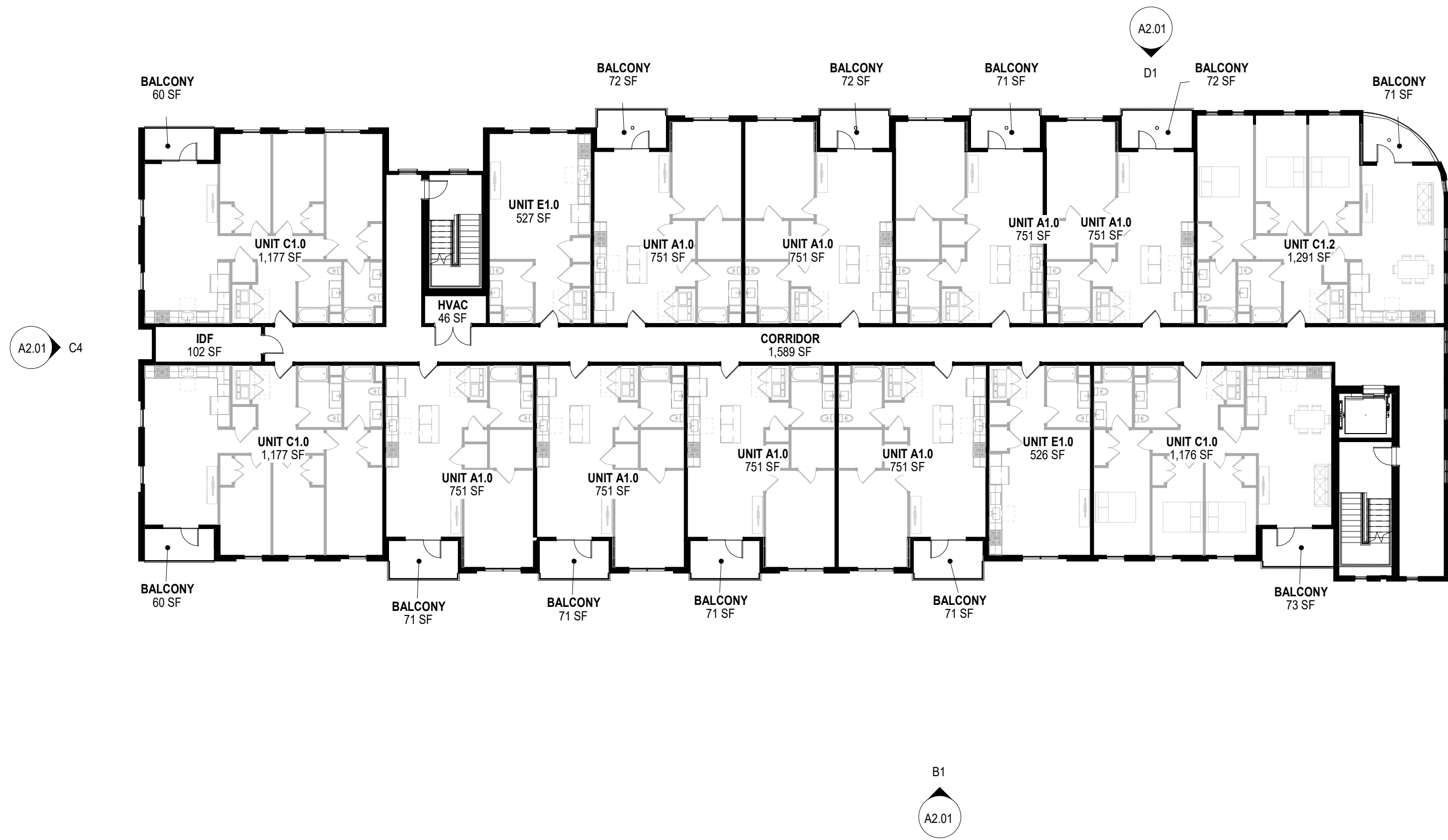
A1.01



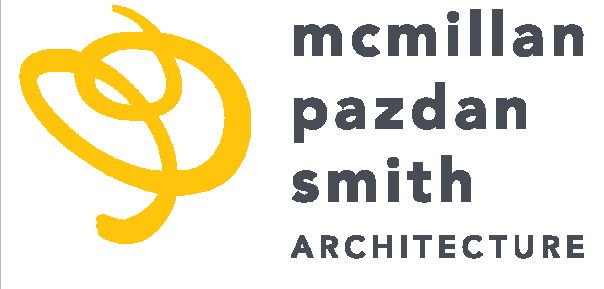
ALL DRAWINGS, SPECIFICATIONS AND NOTES ARE THE PROPERTY OF MCMILLAN PAZDAN SMITH ARCHITECTURE. THESE MATERIALS ARE TO BE USED ONLY WITHIN THE PROJECT AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF MCMILLAN PAZDAN SMITH ARCHITECTURE, NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ALL RIGHTS RESERVED.



**OVERALL FLOOR PLAN - LEVEL 4**  
1/16" = 1'-0"



**OVERALL FLOOR PLAN - LEVEL 3**  
1/16" = 1'-0"



CONSULTANT LOGO

SEALS

LAURENS ACKLEY APARTMENTS LP

THE ALLIANCE

GREENVILLE, SC

SHEET ISSUE:			
NO.	DATE	DESCRIPTION	BY
A	04/19/21	PD REZONING	MPS
C	10/15/21	TCHM PRELIMINARY APPLICATION	MPS
E	12/20/21	FINAL DEVELOPMENT PLAN	MPS

PRINCIPAL IN CHARGE: LL  
PROJECT ARCHITECT: RC  
DRAWN BY: DT/RO/RC

SHEET TITLE:  
**FLOOR PLAN**

SHEET NO. PROJ. NO.  
026520.00

A1.02



## FEATURES & SPECIFICATIONS

**INTENDED USE** — The 6" Wafer-Thin LED recessed downlight with remote driver box combines high quality light output and efficiency while eliminating the pot light housing for competitive affordability. This innovative wafer-slim Type IC design allows easy installation for new construction or remodel from below the ceiling without the requirement of a pot light housing. The LED module maintains at least 70% light output for 36,000 hours. These LED Wafer downlights are intended for closets, attics, hallways, bathrooms, kitchens, basements, soffits, entry ways, porches, garages, stairwells, corridors, nursing/retirement homes, condos, elevators, apartments, and any other small areas.

**CONSTRUCTION** — Ideal for shallow ceiling plenum since a pot light housing is NOT required. IC rated driver and fixture - approved for direct contact with insulation. Aluminum die cast outer frame. Durable, powder coat paint to prevent rust. Round fixture with integral edge-lit LED's. Steel spring clip for easy installation. Plenum rated cable connector to connect from module to remote driver box. Isolated driver integrated inside steel remote box with four 7/8" knockouts with slots for pryout. Not suitable for pulling wires.

### PATENT PENDING.

**INSTALLATION** — Ideal for shallow ceiling plenum; no housing required. Steel spring clip for easy installation. 6" cut out template is provided to ensure a correct sized hole is cut into ceiling for proper installation of the trim. Size of hole should not exceed 6 1/4 inches for this product. Suitable for installation in t-grid and drop ceiling applications.

**OPTICS** — Wafer-Thin downlight edge-lit LED technology uses light guided plate to distribute light. Polycarbonate lens provides even illumination throughout the space. Utilized 3000K and 4000K color temperature LEDs.

**ELECTRICAL** — Connect directly to 120V power supply via provided UL recognized driver. High efficient driver with power factor > 0.9. Ambient operating temperature: -40°F (-40°C) to +104°F (+40°C). Dimming down to 10% (See page 2 for recommended dimmers). Standard input wattage is 13W, 79 lumens per watt.

**LISTINGS** — CSA certified to US and Canadian safety standards. ENERGY STAR® certified product. Wet location. Air Tight certified in accordance with ASTM E283-2004.

**WARRANTY** — 5-year limited warranty. Complete warranty terms located at:

[www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

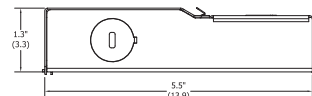
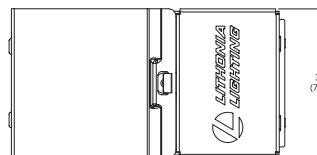
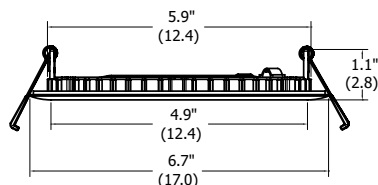
**Note:** Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

### Specifications

Aperture:	4.9 (12.4)
Ceiling opening:	6 (15.2)
Overlap trim:	6.7 (17)
Height:	1.1 (2.8)



All dimensions are in inches (centimeters) unless otherwise indicated.

Catalog Number
Notes
Type

The Alliance FDP  
01/03/2022  
Basis-of-Design product for  
exterior balcony lights.

Wafer LED Recessed Downlight

# WF6

## 6" LED Module

IC/Non-IC

New Construction/Remodel



Matte black



Brushed nickel



Oil-rubbed bronze

### ORDERING INFORMATION

For shortest lead times, configure product using **standard options (shown in bold)**.

**Example: WF6 LED 30K MW**

Series	Lamp	CCT/CRI/W/Lumens <sup>1</sup>	Finish
<b>WF6</b> 6" wafer-thin LED downlight	<b>LED</b> LED	<b>30K</b> 3000K/80CRI/13W/1020L <b>40K</b> 4000K/80CRI/13.6W/1200L	<b>MW</b> Matte white <b>MB</b> Matte black <b>BN</b> Brushed nickel <b>ORB</b> Oil-rubbed bronze
	<b>LL LED</b> Low Lumen LED	<b>27K</b> 2700K/80CRI/12.7W/780L <b>30K</b> 3000K/80CRI/12.6W/865L <b>40K</b> 4000K/80CRI/12.9W/944L	

### Accessories: Order as separate catalog number.

WF6 PAN R12	6" new construction pan, retail pack of 12
WFJB R4	Remodel joist bar, retail pack of 4
WFEXC6 U	6' FT4 cable
WFEXC10 U	10' FT4 cable
WFEXC20 U	20' FT4 cable



WF3\_Pan



Joist



Extension Cable

### Notes

1 Total system delivered lumens.

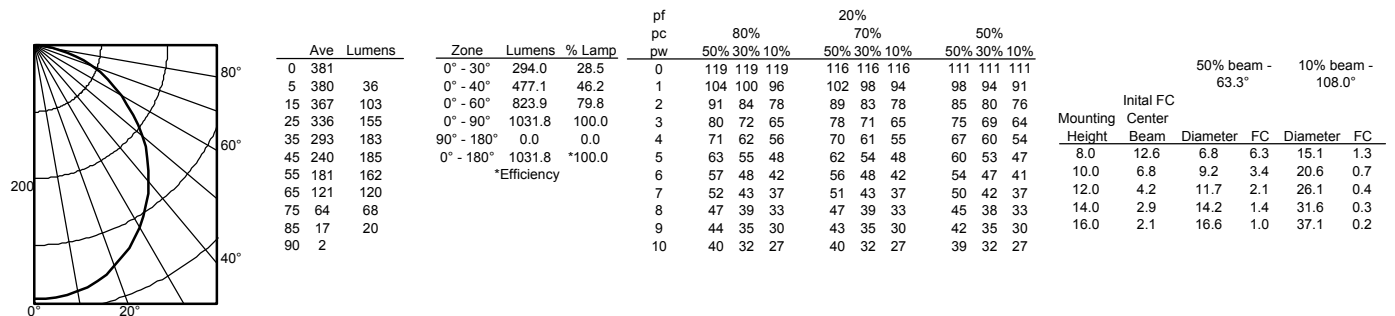


# WF6 6" LED Wafer Module

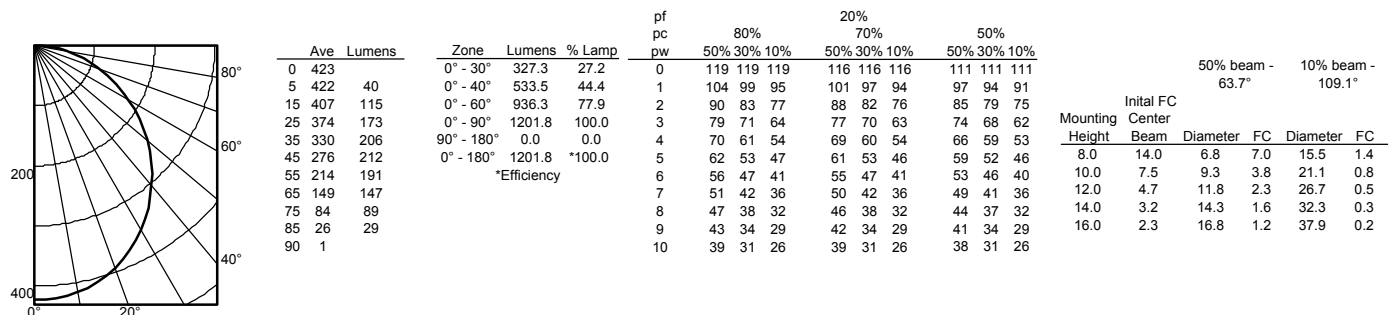
## PHOTOMETRICS

Distribution Curve	Distribution Data	Output Data	Coefficient of Utilization	Illuminance Data at 30" Above Floor for a Single Luminaire			
--------------------	-------------------	-------------	----------------------------	--	--	--	--

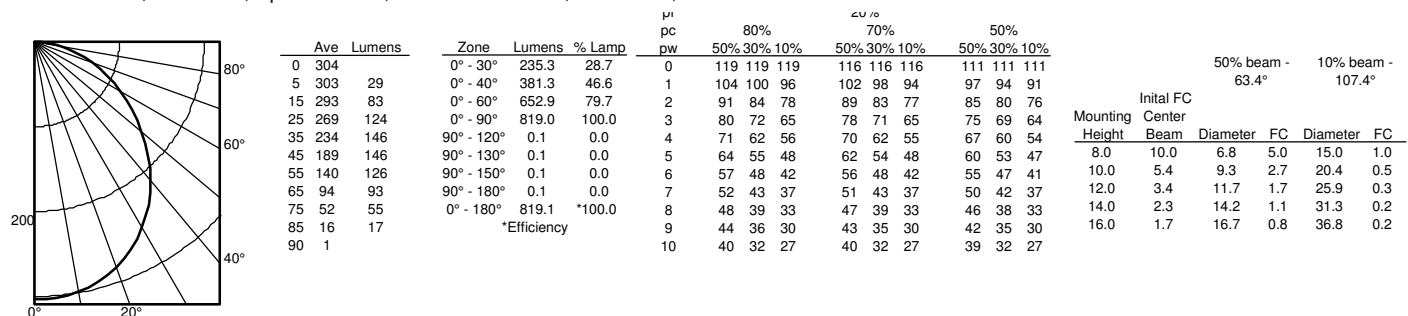
**WF6 LED 30K**, 3000 K LEDs, input watts: 13, delivered lumens: 1020, LM/W=78.5, test no. ISF 30024



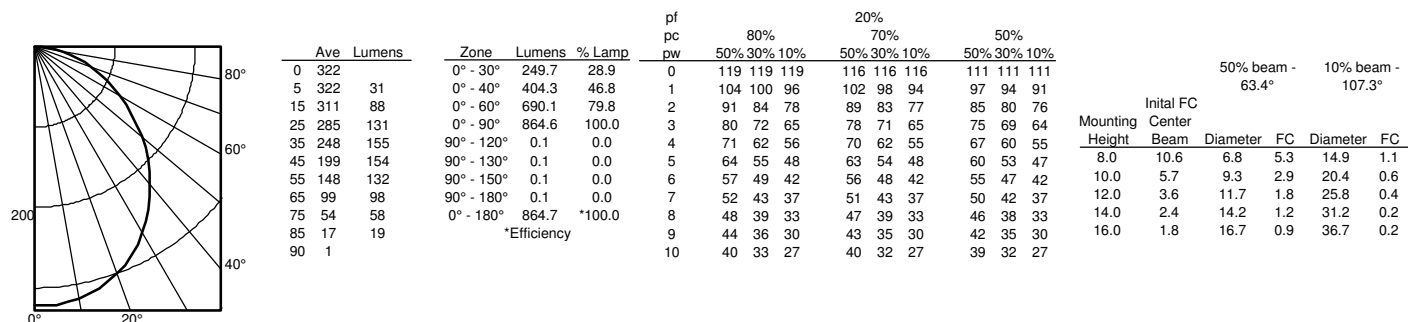
**WF6 LED 40K**, 4000 K LEDs, input watts: 13.6, delivered lumens: 1200, LM/W=88.2, test no. ISF 30376



**WF6 LL LED 27K**, 2700 K LEDs, input watts: 12.7, delivered lumens: 819, LM/W=64.4, test no. ISF 32780P1



**WF6 LL LED 30K**, 3000 K LEDs, input watts: 12.6, delivered lumens: 865, LM/W=68.7, test no. ISF 32781

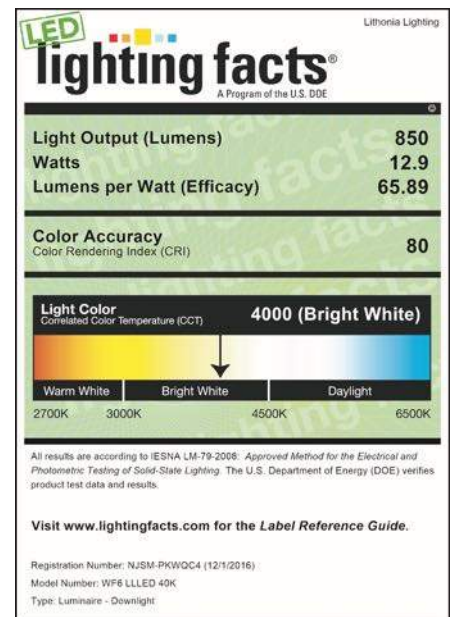
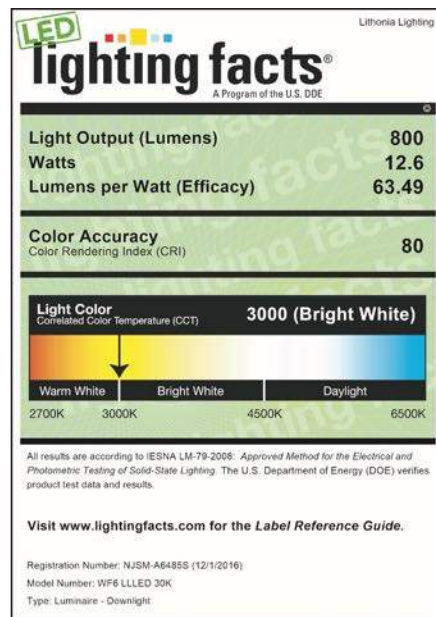
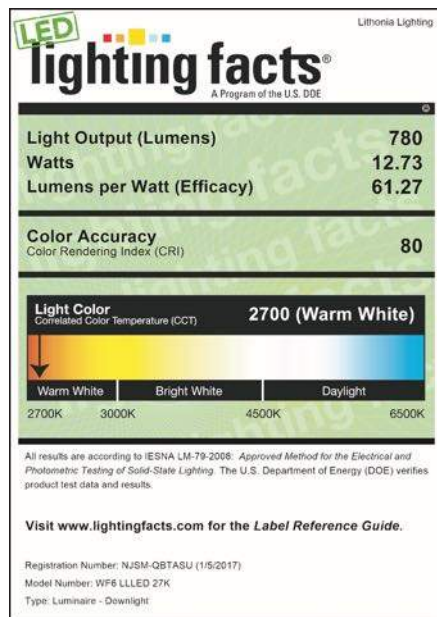
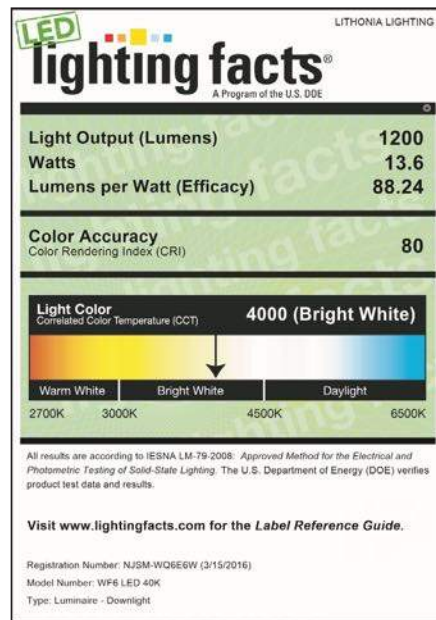
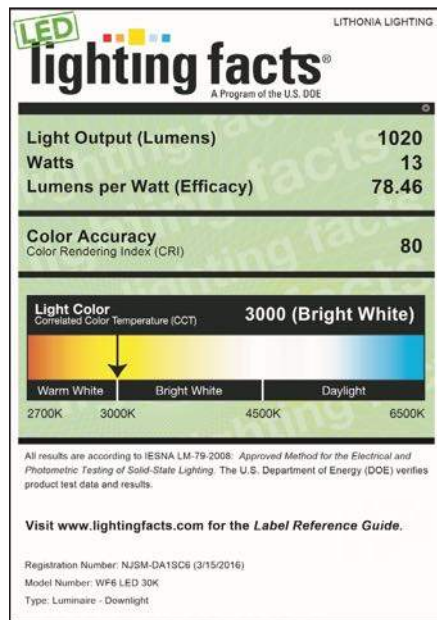








## LIGHTING FACTS





## Cylinder

Wall Mounted • Damp Location Listed **PROGRESS LED**

### Description:

5" LED up down wall cylinder - wall lantern in Black. The P5675 Series are ideal for a wide variety of interior and exterior applications including residential and commercial. The Cylinders feature a 120V alternating current source and eliminates the need for a traditional LED driver. This modular approach results in an encapsulated luminaire that unites performance, cost and safety benefits. Specify P860045 top cover lens for use in wet locations.

### Specifications:

- Black finish.
- Powder coat finish.
- Die-cast aluminum construction with durable powder coated finish
- 1,100 lumens 26 lumens/watt per module (delivered)
- 3000K color temperature, 90+ CRI
- Meets California Title 24 high efficacy requirements for outdoor use only.
- Dimmable to 10% with many ELV dimmers
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box: 4.5 in W., 4.5 in ht., 2.95 in depth
- Mounting strap for outlet box included
- 6 in of wire supplied

### Performance:

Number of Modules	2
Input Power	17 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Down-Source)	795/46 (LM-82) per module
Lumens/LPW (Up-Source)	795/46 (LM-82) per module
Lumens/LPW (Source)	795/46 (LM-82)
Lumens/LPW (Delivered)	1,100/26 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	60000 (L70/TM-21)
EMI/RFI	FCC Title 47, Part 15, Class B
Max. Operating Temp	30 °C
Warranty	5-year Limited Warranty
Labels	cCSAus Damp Location Listed

## P5675-31/30K



### Dimensions:

Width: 5 in  
Height: 14 in  
Depth: 8-7/8 in  
H/CTR: 8 in

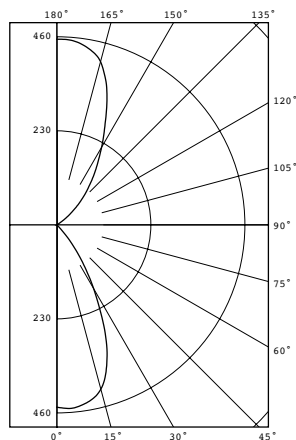


## Photometrics:

ELECTRICAL DATA		P5675-31/30K
Input Voltage		120 V
Input Frequency		60 Hz
Power Factor		0.929
THD		<20%
EMI/RFI		FCC Title 47, Part 15, Class B
Operating Temperature		-30 °C to 30 °C
Dimming		Yes*
Over-voltage, over-current, short-circuit protected		
*See Dimming Notes for more information		

### P5675-31/30K

LED Light Engine: 3000 K 90 CRI  
 System Wattage: 17  
 Fixture delivered lumens: 830  
 Fixture Efficacy: 24.4  
 Spacing Criteria: 0.8



Test 17.02768 Test Date 10/20/17

### CANDELA DISTRIBUTION

DEG	CANDELA	LUMENS
0	446	
5	450	43
15	416	115
25	272	123
35	104	65
45	2	8
55	1	0
65	0	0
75	0	0
85	0	0
90	0	
95	0	0
105	1	0
115	2	2
125	17	18
135	83	64
145	167	104
155	282	130
165	413	114
175	452	43
180	454	

## P5675-31/30K

### ZONAL LUMEN SUMMARY

ZONE	LUMENS	%FIXT
0-30	280	33.8
0-40	346	41.7
0-60	354	42.7
0-90	354	42.7
90-120	3	0.3
90-130	21	2.5
90-150	189	22.8
90-180	476	57.3
0-180	830	100.0



## Cylinder

Wall Mounted • Damp Location Listed The Progress LED logo, consisting of the word "PROGRESS" in a sans-serif font followed by "LED" in a bold, orange font, all enclosed within a thin circular border.

# P5675-31/30K

### Dimming Notes:

P5675-31/30K is designed to be compatible with many ELV/Reverse Phase controls.

The following is a partial list of known compatible dimmer controls.

### Dimming Controls:

Lutron\_Diva DVELV-300P

Lutron\_Nova NTELV-300

Lutron\_Vierti VTELV-600

Lutron\_Maestro MAELV-600

Lutron\_spacer/system SPSELV-600

Leviton\_Renoir II AWRMG-EAW

Leviton\_6615-P

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.



Neighborhood Meeting

Project Name: THE ALLIANCE

Location: 112 REBECCA ST (NICHOLTOWN COMMUNITY CENTER)

Time of the meeting: 6:30 PM

Date: NOV 16<sup>TH</sup>, 2021

Representative holding meeting: JOSEPH KASS / ROB COUCH / Paul Mills

Name	Street Address	Email
1 Linda Robinson	11 Haley Court	
2 Bridget Durham	9 Haley Court	
3 Robert Taylor	20 REBECCA ST	
4 Chandler Chittom	5 Haley Court	chanchi11om@gmail.com
5 Annie L. Fuller	123 Ackley Rd. Greenville 29607	
6 Louella Butler	310 Ackley Rd. Greenville 29607	louellabutler1@gmail.com
7 Milton & Regina Smith	26 Warren Ct + 209 Maco	gto65.co@yahoo.com
8 Katie Taylor	36 Glenn St, Greenville, 29607	batamsteru@icloud.com
→ 9 Mario & Liz Brown	5 Dale Drive, Greenville, SC	marioandlizbrown@gmail.com
10 Whitney Wright	15 Eastlan Dr, Greenville, 29607	whitney.wrightsc@gmail.com
11 ROBERT BROWN	23 BROWN AVE 29607	
12 SGT AGATHEN	GREENVILLE PD	
13 Ben Ables	28 Wrentham St, Greenville SC 29611	babdo@greenvillesc.gov
14 THOMAS BROOKS	705 NEXFORD WAY Easley, SC 29642	cbryan@bellsouth.net
15 GRADY BUTLER	234 ALAMEDA ST 29607	
16 ALAN MITCHELL	212 REBECCA ST 29607	AMITCHELL56@GMAIL.COM
17		
18		
19		
20		
21		
22		
23		
24		
25		





## **The Alliance Neighborhood Meeting**

**12/17/21**

### **Zoom Attendees**

Alan Mitchell  
Pastor Calvin Hailstock  
919-841-3284  
Whitney Wright  
617-750-7210  
James Jordon  
Amy Connor  
Ashana Taylor  
Brian  
Carsten  
Clint  
Della Scott  
George Rabanal  
Helen  
Herdie Ferguson  
Jacob Siler  
Jerry Stephens  
Joseph Kass  
Kate Yaeger  
Kecia Richardson  
Kenneth Gibson  
Kerry Fair  
Laurie Rappl  
Meghan Meier  
Merle Johnson  
Monique Mattison  
Oscar Bennett  
Ofc. N. Howard  
Paul Mills  
Robinson Villa  
Rodney Acker  
Shannon  
Sylvia Palmer  
Taylor Davis  
Thomas Porter  
Whitney Wright  
Yvonne  
Ed



## meeting minutes

**Issue Date:** 12/20/2021 **Meeting Date:** 12/16/2021  
**Meeting Location:** Zoom

---

**Project Name:** The Alliance  
**Project Number:** 020520.00

---

**Attendees:**

**NHE**  
Taylor Davis  
Joseph Kass  
Ashana Taylor  
Robinson Villa

**JCC**  
James Jordon

**McMillan Pazdan Smith (MPS)**  
Rob Couch  
Rita Odintsova

**Site Design**  
Paul Mills

**Public**  
See attached sign-in sheet

**Distribution:** (if different from above) Austin Rutherford, City of Greenville

**Writer:** Rob Couch

---

*The following notes represent our understanding of matters discussed and actions agreed upon. Please report corrections and/or omissions to the writer within five (5) working days.*

1. (Meghan Meier via Zoom chat) I like this exterior design better than the first draft y'all shared. The first one looked too much like a college dorm. Still wish it could be more craftsman/cottage style and blend into the neighborhood more.
2. (Jerry Stephens via Zoom chat) Add over 100 units and no traffic impact? Not possible.
  - a. (Yvonne via Zoom chat) They said no significant change!!!
3. (Ken Gibson) Clint Link with the City is here to answer any questions.



## meeting minutes

4. (Kate Yaeger via Zoom chat) The only egress is onto Ackley Road. How can you say with straight faces that this will not have any meaningful impact? You NEED to adjust the traffic lights or you will have backups.
5. (Clint) Have reviewed traffic study and concur with analysis. Performed by professional traffic engineer. New trips and traffic generated. Traffic will grow over time regardless. Based on traffic generated, there is still more than an acceptable level of service at the intersection. Meets the city's requirements. City will continue to monitor and will adjust timing of light if needed in future. Okay with report and analysis. Biggest adjustment might be to add a turn lane. Would certainly help. If City saw a real issue, then it's something that could be done.
6. (Jerry Stephens via Zoom chat) Did you do your model in COVID when no one was traveling?
7. (Yvonne via Zoom chat) There are 9 + ways to get out of Nicholtown!!!!
8. (Kate Yaeger via Zoom chat) Are there plans to install a smart traffic light that senses backups?
9. (Helen via Zoom chat) There's already a 4 minute wait to turn left off Ackley onto Lauren's Rd.
10. (Jacob Siler via Zoom chat) A designated left turn light onto Ackley would be great!
11. (Jerry Stephens via Zoom chat) What about other roads with a light at Glenn or Blair?
12. (Kate Yaeger via Zoom chat) Just do it from the beginning. You know there's much more growth coming. Do it right the first time.
13. (Yvonne via Zoom chat) Would like to see a right-hand turn lane onto Laurens. Those of us that live here have created the issue already.
14. (Meghan Meier via Zoom chat) Still hoping for a right turn lane onto Laurens from Ackley. We need the right turn lane now.
15. (Paul Mills) Did not do traffic study during COVID. DOT doesn't allow traffic counts during summer when school is out. Similar situation with COVID. DOT also publishes traffic counts every few years.
16. (Sylvia Palmer) Is there a sensor on Ackley that you have to roll over?
  - a. (Clint) I believe so and it is working as far as I know. Are you experiencing issues?
17. (Alan) Request that City take a look at intersection.
18. (Jerry via Zoom chat) If you did it before March 2020 it was not 'normal.'
19. (Brian via Zoom chat) With the Swamp Rabbit extension on the other side of the road, will the cross walk become safer with these changes?
20. How long before complete?
  - a. (Joseph) About 16 month construction timeline, so Fall 2023.
21. Any interest from specific retailers?
  - a. (Joseph) Having discussions with Community Works to find business connected to the Nicholtown community. Want them to be neighborhood focused and not a national retailer. Also talking to Greenville Housing Fund about taking some space.
22. Any studies on Haley Court and effect on property values?
  - a. (Joseph) No specific studies, but housing values are going up in Greenville County. Believe that affordable housing will help neighborhood while not having a negative effect on property values.
23. Question from neighbors on Haley and Warren Court. What type of trees will be planted in buffer? What height at maturity?
  - a. (Paul) City has list of plants that can be used. Most likely a type of oak. Standard is about 2" diameter at chest height when planted. Could also plant fewer, larger caliber trees.



## meeting minutes

24. Mentioned a 6' tall fence. At what time will that be completed? Would you consider an 8' tall fence? All brush has been cleared and can see straight through to Laurens and Ackley.
  - a. (Paul) Fence will be installed at end of construction. City has limit on height of fence. Will take a look at it.
25. (Marty) 60% AMI is hard to hit. Any encouragement of bikes with SWT extension? Some of the streets surrounding Ackley could be impacted if traffic backs up on Ackley. Could a speed bump be added on one of those streets?
  - a. (Paul) Speed bumps would be a City decision. Bike racks are provided.
  - b. (Jerry Stephens via Zoom chat) Good questions, but speed bumps haven't slowed traffic on Beechwood Ave.
  - c. (Steve via Zoom chat) Emergency vehicles use Ackley, so speed bumps will not work.
  - d. (Sylvia Palmer via Zoom chat) Traffic engineering told the Association a while back that Ackley Rd. is a major artery for Nicholtown and Speed humps are not placed on major roads in a community.
26. (Jacob Siler via Zoom chat) Who would be the best person at the city to contact with traffic concerns? Would that be Clint?
  - a. (Clint via Zoom chat) You're welcome to send any traffic related questions my way but the City Traffic Engineering Division is the appropriate group to best answer your questions. I can certainly facilitate getting any questions to our traffic engineers.
27. (Luella Butler, 310 Ackley Road) Lifetime resident of Nicholtown. Residents of Nicholtown need another opportunity to speak about new apartments. Light at Laurens stays red for far longer than it should. Can foresee some real traffic congestion. Already some traffic with shopping strip at Family Dollar. Adding more traffic will not be an attribute to the community. Are there other housing types that could be considered or could you build less units?
28. (Regina Smith) How many parking spaces in development. How are cars factored. Maybe need to be scaled back.
  - a. (Rob) Retail and residential parking is factored based on market demand. Calculations were submitted with preliminary Planned Development and approved by City.
  - b. (Joseph) 163 total parking spaces.
  - c. (Joseph) 84 of 112 units are studios or one-bed or two-beds. Will be fewer cars based on types of units provided in the development.
29. (Katie Taylor, Glen Street) Lived in Nicholtown since 1992. Can't use my street [to turn onto Laurens Road] because of traffic on Laurens Road. Have to go down to Ackley. Only three spots on left hand turn from Laurens onto Ackley. Traffic gets backed up and is horrific. Request study for speed on Laurens Road. Don't care what traffic studies show. I live there and know what it's like.
  - a. (Jerry via Zoom chat) I support Katie. I didn't hear anyone answer her questions. Please address them.
30. How are we moving forward in the Spring? Will you be working on details while under construction? Don't see how that many parking spaces will fit on site.
  - a. (Joseph) Planning to start construction in summer, June or July.
31. (Ann Fuller, Ackley Road) Really concerned about apartments and value of property. Would you consider single family houses?



## meeting minutes

- a. (Joseph) The property fronts Laurens Road and is adjacent to commercial properties. GVL 2040 plans calls for corridor to continue to develop with commercial uses in mind. Feel that the proposed project is in keeping with the 2040 plan which calls for mixed use, public transportation, some commercial, but overwhelmingly residential use.
- 32. Will there be another meeting dedicated to just this project?
  - a. (Joseph) Open to that. City requires that we use the regularly scheduled neighborhood meeting dates for the presentation.
- 33. (Steve via Zoom chat) The presentation has answered my concerns. I support the project. I live at 113 Ackley, two blocks from the project.
- 34. (Meghan Meier via Zoom chat) Shouldn't these concerns have been brought up months ago when JCC, Joseph and MPS originally presented to us?
  - a. (Jerry via Zoom chat) Meghan, is there some reason you don't want the community to be heard?
  - b. (Kate via Zoom chat) I think everyone has a right to be heard up until this thing is voted/approved.
  - c. (Meghan via Zoom chat) Not at all, but this is all very redundant of the conversations we've already had. If we have to keep rehashing every reason every decision was made at each meeting it's a waste of everyone's time.
  - d. (Sylvia via Zoom chat) This is not the first meeting to discuss this development with Nicholtown neighbors.
  - e. (Meghan via Zoom chat) This development project has been the most transparent of any other project that's been presented to us in years past and I'm very thankful for that.
  - f. (Jerry via Zoom chat) So, today's issues/questions shouldn't be addressed?
  - g. (Meghan via Zoom chat) This project has had agenda time at every meeting for the past year. Most of these questions have already been addressed, Jerry.
  - h. (Jerry via Zoom chat) So as more information is learned, people aren't allowed to ask new questions? Interesting.
  - i. (Meghan via Zoom chat) SO interesting
  - j. (Jerry via Zoom chat) Sounds like a lot of people here don't really want community input.
- 35. (Sylvia) Some of this has already been addressed in previous meetings. Like the new design.
- 36. (Sarah Siler) How will sidewalk merge with current sidewalk on Ackley?
  - a. (Paul) Will have a section that juts back to existing sidewalk once off property.
- 37. (Rodney) Agree that additional traffic from the development will not impact the intersection. But other than this development the use of the intersection is going to increase. Future development may necessitate a right-hand turn lane. Understand that building placement will not allow for a right-hand turn lane. Government should take care of that now.
  - a. (Ken) That is something that the City is looking at. Some issues with width of street in both ways. I can assure you that we are looking at these traffic issues especially at that intersection. Agree that when development on Laurens Road kicks in there will be issues with traffic. Not something that we're ignoring, just some obstacles that need to be overcome.
- 38. (Alan) Was just supposed to be an update on the project. Was not a dedicated meeting. Recommend that developers send out notification per City requirements if another meeting is needed.



## meeting minutes

- a. (Ken) The City has insisted that the developer make special notification to nearby residents which they did. Agree that if people don't feel their questions have been answered then developer should respond.
39. (Ed) Can rent be raised?
- a. (Joseph) PD zoning requires it to be affordable. Funding sources require it to be deed restricted for 35 years at 60% AMI.
  - b. (Ed) What happens at 35 years?
  - c. (Joseph) Typically refinanced for another 35 years around year 20. Typically continues to be affordable for much longer than that.

**End of Document**